

INVENTORY SITE DATA
PARCEL ID# R06007-002-009-000

EXISTING PARCEL ID#: R06007-002-009-000
 EXISTING PARCEL PIN#: 312606.48.6317.000
 PARCEL ADDRESS: 2026 S. 16TH STREET
 PARCEL OWNER: NEW HANOVER REGIONAL MEDICAL CENTER
 EXISTING PARCEL AREA: 4.64 AC
 EXISTING PARCEL USE: PARKING
 PROPOSED PARCEL USE: NHRMC EMPLOYEE PARKING LOT AND DECK
 CURRENT ZONING: O&I-1 OFFICE & INSTITUTION
 CAMA LAND CLASSIFICATION: URBAN
 SOIL TYPE: Le, Jo, Mu

THE PARCEL IS LOCATED IN ZONE "X" - OUTSIDE THE 2% CHANCE OF FLOOD AND ZONE "X"- AREAS WITHIN THE 2% CHANCE OF FLOOD, AND ZONE AE WITH BFE OR DEPTH (ELEV. 9') AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP 3720312600K, PANEL , DATED: AUGUST 28, 2018.

WETLANDS EXISTING ON SITE AND ARE DELINEATED ON THE SITE INVENTORY PLAN.

HISTORICAL/ARCHAEOLOGICAL SITE: NONE
 CEMETERY: NONE
 FORESTED AREA: SEE PLAN FOR TREE SURVEY
 WETLANDS: SEE PLAN FOR WETLAND AREA
 ENDANGERED SPECIES/HABITAT: NONE REPORTED

INVENTORY SITE DATA
PARCEL ID# R06007-002-007-000

EXISTING PARCEL ID#: R06007-002-007-000
 EXISTING PARCEL PIN#: 312606.48.8210.000
 PARCEL ADDRESS: 1635 DOCTORS CIRCLE
 PARCEL OWNER: NEW HANOVER REGIONAL MEDICAL CENTER
 EXISTING PARCEL AREA: 0.41 AC
 EXISTING PARCEL USE: SURFACE EMPLOYEE PARKING LOT ACCESS
 PROPOSED PARCEL USE: SURFACE EMPLOYEE PARKING LOT ACCESS
 CURRENT ZONING: O&I-1 OFFICE & INSTITUTION
 CAMA LAND CLASSIFICATION: URBAN
 SOIL TYPE: Le, Ur

THE PARCEL IS LOCATED IN ZONE "X" - OUTSIDE THE 2% CHANCE OF FLOOD AND ZONE "X"- AREAS WITHIN THE 2% CHANCE OF FLOOD, AND ZONE AE WITH BFE OR DEPTH (ELEV. 9') AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP 3720312600K, PANEL , DATED: AUGUST 28, 2018.

WETLANDS DO NOT EXIST ON SITE.

HISTORICAL/ARCHAEOLOGICAL SITE: NONE
 CEMETERY: NONE
 FORESTED AREA: NONE
 WETLANDS: NONE
 ENDANGERED SPECIES/HABITAT: NONE REPORTED

EXISTING SITE DATA:
 (BOTH PARCELS COMBINED)

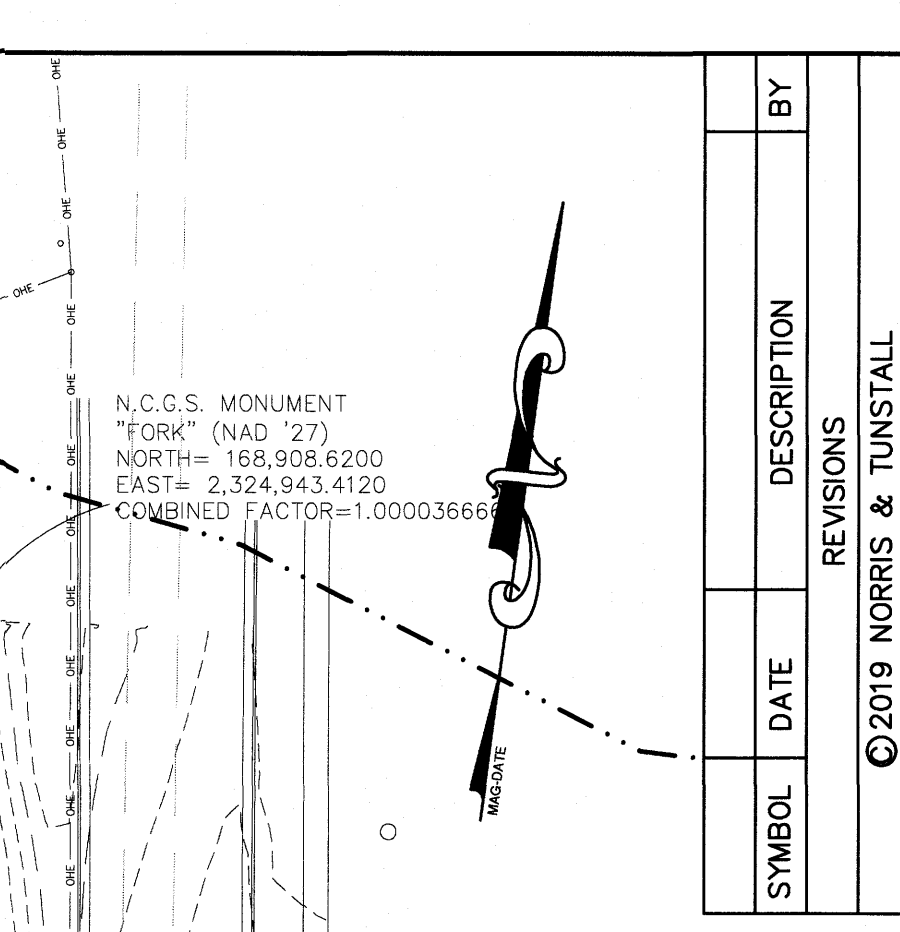
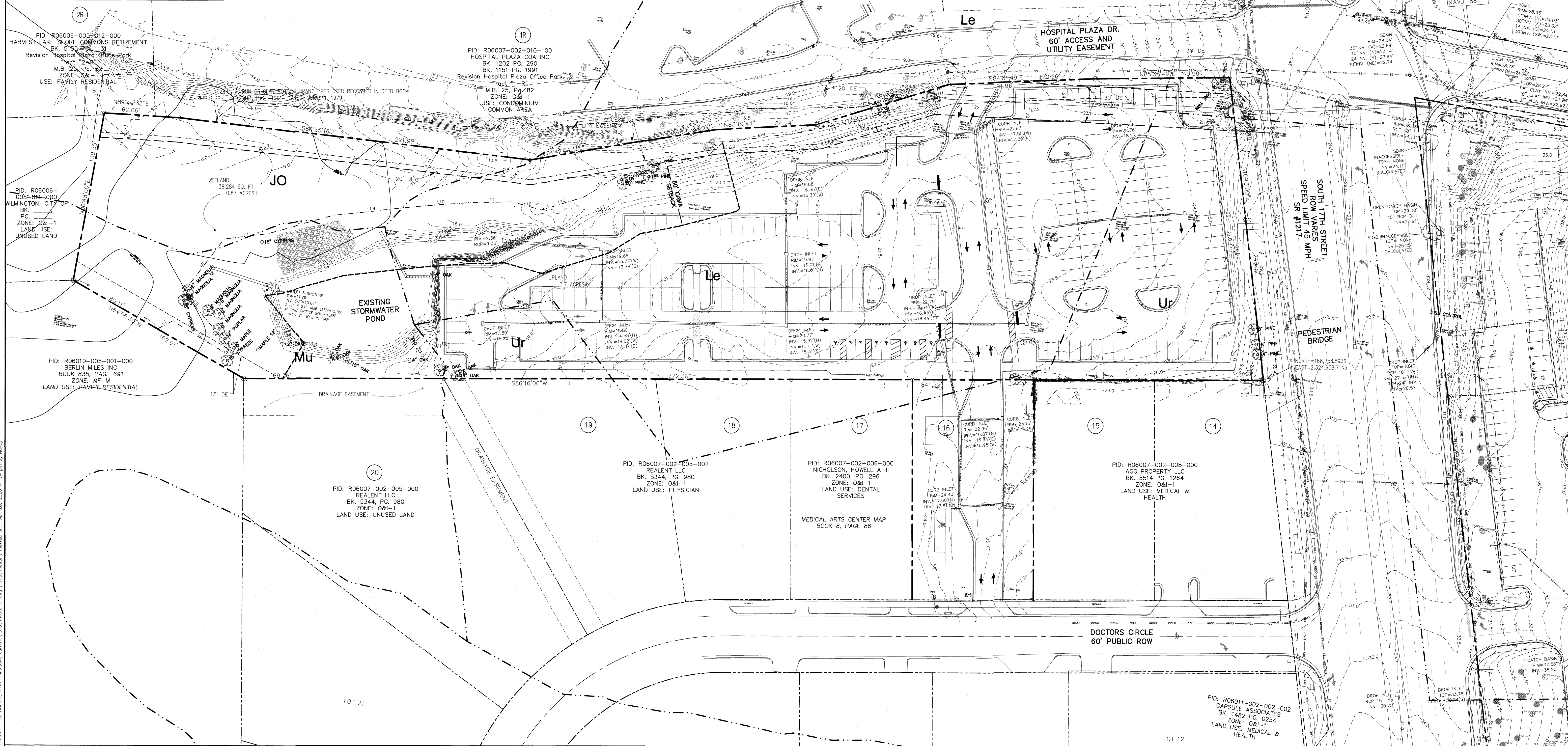
EXISTING IMPERVIOUS:
 ASPHALT, CURB & GUTTER = 88,540 SF
 CONCRETE SIDEWALK = 8,753 SF
 FUTURE = 10,000 SF
 TOTAL = 107,293 SF
 48.7% IMPERVIOUS

PERVIOUS CONCRETE = 8,515 SF
 (100% CREDIT)

OFF-SITE IMPERVIOUS = 1,370 SF

EXISTING PARKING:
 REGULAR SPACES: 237
 HC ACCESSIBLE SPACES: 8
 TOTAL PROPOSED: 245
EXISTING BICYCLE PARKING: 20 SPACES

PID: R06007-002-010-003
 WILMINGTON NC 2018 LLC
 BK. 6158, PG. 442
 ZONE: O&I-1
 USE: LEGAL SERVICES



BY	DATE	DESCRIPTION

INVENTORY SITE PLAN
NHRMC EMPLOYEE PARKING DECK
WITH PEDESTRIAN BRIDGE
2026 S. 16TH STREET
WILMINGTON, N. C.

OWNER/DEVELOPER
 NHRMC
 P.O. BOX 9000
 WILMINGTON, NC 28402
 910 343-2788

NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.
 2602 IRON GATE DR., SUITE 102
 WILMINGTON, NC 28403
 PHONE (910) 343-9635

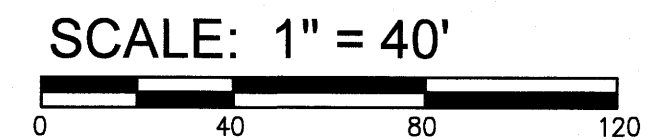
License #C-3641
19135
 DES. JST
 CDR. JPN
 DRWN. NKS
 DATE 04/28/20

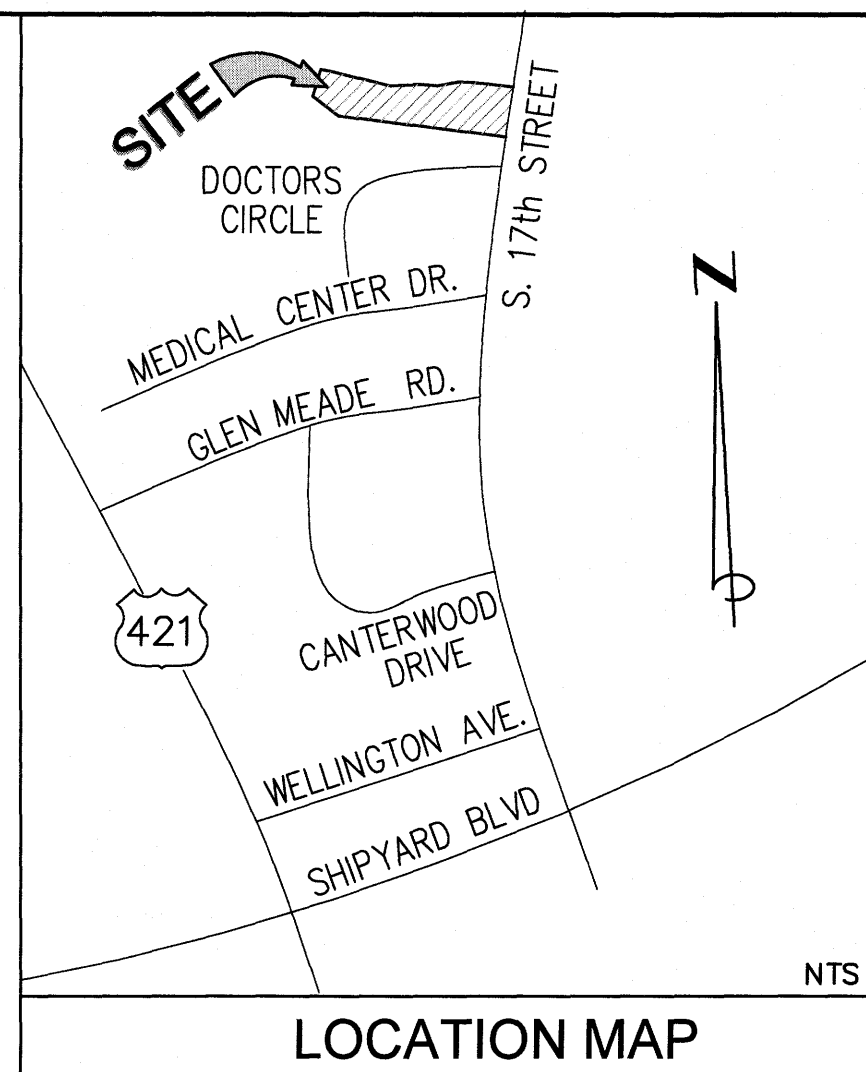
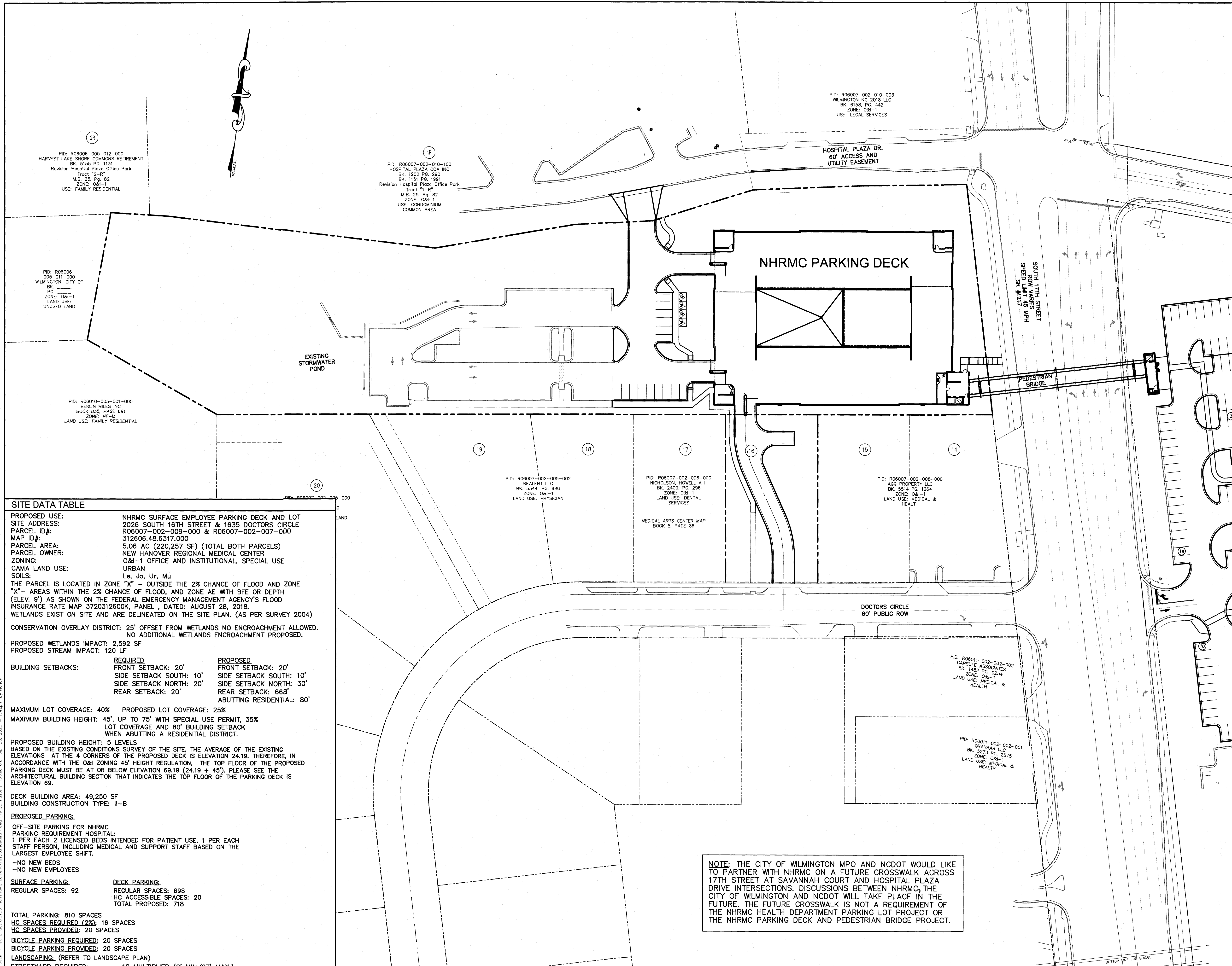
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____





SITE DATA TABLE

PROPOSED USE: NHRMC SURFACE EMPLOYEE PARKING DECK AND LOT
SITE ADDRESS: 2026 SOUTH 16TH STREET & 1635 DOCTORS CIRCLE
PARCEL ID#: R06007-002-009-000 & R06007-002-007-000
MAP ID#: 312806.48.6317.000
PARCEL AREA: 5.06 AC (220,257 SF) (TOTAL BOTH PARCELS)
PARCEL OWNER: NEW HANOVER REGIONAL MEDICAL CENTER
ZONING: O&I-1 OFFICE AND INSTITUTIONAL, SPECIAL USE
CAMA LAND USE: URBAN
SOILS: Le, Jo, Ur, Mu
 THE PARCEL IS LOCATED IN ZONE "X" - OUTSIDE THE 2% CHANCE OF FLOOD AND ZONE "X" - AREAS WITHIN THE 2% CHANCE OF FLOOD, AND ZONE AE WITH BFE OR DEPTH (ELEV. 9') AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP 3720312600K, PANEL 1, DATED: AUGUST 28, 2018. WETLANDS EXIST ON SITE AND ARE DELINEATED ON THE SITE PLAN. (AS PER SURVEY 2004)
CONSERVATION OVERLAY DISTRICT: 25' OFFSET FROM WETLANDS NO ENCROACHMENT ALLOWED. NO ADDITIONAL WETLANDS ENCROACHMENT PROPOSED.
PROPOSED WETLANDS IMPACT: 2,592 SF
PROPOSED STREAM IMPACT: 120 LF

BUILDING SETBACKS: REQUIRED FRONT SETBACK: 20' PROPOSED FRONT SETBACK: 20'
 SIDE SETBACK SOUTH: 10' SIDE SETBACK SOUTH: 10'
 SIDE SETBACK NORTH: 20' SIDE SETBACK NORTH: 30'
 REAR SETBACK: 20' REAR SETBACK: 668' ABUTTING RESIDENTIAL: 80'

MAXIMUM LOT COVERAGE: 40% PROPOSED LOT COVERAGE: 25%
MAXIMUM BUILDING HEIGHT: 45', UP TO 75' WITH SPECIAL USE PERMIT, 35% LOT COVERAGE AND 80' BUILDING SETBACK WHEN ABUTTING A RESIDENTIAL DISTRICT.

PROPOSED BUILDING HEIGHT: 5 LEVELS
 BASED ON THE EXISTING CONDITIONS SURVEY OF THE SITE, THE AVERAGE OF THE EXISTING ELEVATIONS AT THE 4 CORNERS OF THE PROPOSED DECK IS ELEVATION 24.19. THEREFORE, IN ACCORDANCE WITH THE O&I ZONING 45' HEIGHT REGULATION, THE TOP FLOOR OF THE PROPOSED PARKING DECK MUST BE AT OR BELOW ELEVATION 69.19 (24.19 + 45'). PLEASE SEE THE ARCHITECTURAL BUILDING SECTION THAT INDICATES THE TOP FLOOR OF THE PARKING DECK IS ELEVATION 69.

DECK BUILDING AREA: 49,250 SF
BUILDING CONSTRUCTION TYPE: II-B

PROPOSED PARKING:
OFF-SITE PARKING FOR NHRMC PARKING REQUIREMENT HOSPITAL:
 1 PER EACH 2 LICENSED BEDS INTENDED FOR PATIENT USE, 1 PER EACH STAFF PERSON, INCLUDING MEDICAL AND SUPPORT STAFF BASED ON THE LARGEST EMPLOYEE SHIFT.
 -NO NEW BEDS
 -NO NEW EMPLOYEES

SURFACE PARKING: REGULAR SPACES: 92
DECK PARKING: REGULAR SPACES: 698
 HC ACCESSIBLE SPACES: 20
 TOTAL PROPOSED: 718

TOTAL PARKING: 810 SPACES
HC SPACES REQUIRED (2%): 16 SPACES
HC SPACES PROVIDED: 20 SPACES

BICYCLE PARKING REQUIRED: 20 SPACES
BICYCLE PARKING PROVIDED: 20 SPACES

LANDSCAPING (REFER TO LANDSCAPE PLAN)
STREETYARD REQUIRED: 18 MULTIPLIER (9' MIN/27' MAX.)
 249 X 18 = 4,500 SF REQUIRED (4,609 SF PROVIDED)

INTERIOR LANDSCAPING O&I-1: 30% CANOPY COVER OF INTERIOR AREA OF PARKING FACILITY BASED ON AMOUNT OF PARKING AREA IMPERVIOUS SURFACE. REFER TO LANDSCAPE PLAN.

FOUNDATION PLANTINGS REQUIRED: 12% OF THE AREA OF THE FACE OF THE BUILDING. WEST SIDE: (139)(60)(X).12=1,000 SF REQUIRED AND PROVIDED. REFER TO LANDSCAPE PLAN.

SOLID WASTE REMOVAL: HAND CARTS TO BE MAINTAINED BY HOSPITAL MAINTENANCE.

WATER AND SEWER CAPACITY NEEDS: NONE REQUIRED

DISTURBED AREA LIMITS: 2.55 ACRES

NOTE: THE CITY OF WILMINGTON MPO AND NCDOT WOULD LIKE TO PARTNER WITH NHRMC ON A FUTURE CROSSWALK ACROSS 17TH STREET AT SAVANNAH COURT AND HOSPITAL PLAZA DRIVE INTERSECTIONS. DISCUSSIONS BETWEEN NHRMC, THE CITY OF WILMINGTON AND NCDOT WILL TAKE PLACE IN THE FUTURE. THE FUTURE CROSSWALK IS NOT A REQUIREMENT OF THE NHRMC HEALTH DEPARTMENT PARKING LOT PROJECT OR THE NHRMC PARKING DECK AND PEDESTRIAN BRIDGE PROJECT.

NHRMC Parking Requirements
April 22, 2020

City of Wilmington Code:
 Hospital: 1 space / 2 licensed beds intended for patient use, plus 1 space per each staff person including medical and support staff based on the largest employee shift.
 Medical Office: 1 Space / 170 SF Maximum, 1 Space / 250 Minimum
 Hospital Beds = 804 Beds = 402 Parking Spaces
 Hospital Staff, Medical and Support Staff on Largest Shift = 3,344 Employees = 3,344 Parking Spaces
 Zimmer Cancer Center = 80,000 SF Medical Office = 529 Parking Spaces Maximum, 360 Parking Spaces Minimum

Total Required Parking Spaces: 4,276 Maximum Parking Spaces;
4,106 Minimum Parking Spaces

Existing On-Campus Parking Spaces = 1,993 Parking Spaces*
 Existing Deck and Surface Lot = 780 Parking Spaces*
 Existing Glen Meade Lot = 54 Parking Spaces*
 *Existing Parking Per Walker Parking Consultant Parking Assessment

Total Existing Parking Spaces: 2,827 Parking Spaces

Proposed Health Department = 480 Parking Spaces
 Proposed Parking Deck & Surface Lot (Old WAC Site) = 810 Parking Spaces

Total Existing & Future Parking Spaces = 4,117 Parking Spaces

PROPOSED IMPERVIOUS:
(BOTH PARCELS COMBINED)

PROPOSED IMPERVIOUS:
 BUILDING: 49,250 SF
 ASPHALT, CURB & GUTTER: 42,473 SF
 CONCRETE SIDEWALK: 2,857 SF
 FUTURE: 5,710 SF
 TOTAL PROPOSED = 100,290 SF
 45.53% IMPERVIOUS

PERVIOUS CONCRETE = 5,488 SF
(100% CREDIT)

LEGEND

---	PROPERTY LINE
---	DISTURBED AREA LIMITS
---	35'
---	PROPOSED CONTOUR
---	TEMPORARY SILT FENCE
---	PROPOSED STORMDRAIN PIPE
---	PROPOSED WATERLINE
---	PROPOSED SANITARY SEWER
---	PROPOSED SPOT ELEVATION FLOW LINE
---	PROPOSED SPOT ELEVATION TOP OF CURB
---	PROPOSED SPOT ELEVATION FINISH GRADE
---	FLARED END SECTION WITH RIP-RAP ENERGY DISSIPATOR
---	DROP INLET WITH INLET PROTECTION (DI)
---	CURB INLET WITH INLET PROTECTION (CI)
---	JUNCTION BOX WITH INLET PROTECTION (JB)
---	INLET PROTECTION AT EXISTING INLET
---	PROPOSED FIRE HYDRANT
---	EXISTING CONTOUR
---	EXISTING TREE TO BE SAVED
---	EXISTING TREE TO BE REMOVED
---	TREE PROTECTION FENCING
---	EXISTING ASPHALT TO BE SEAL COATED AND RE-STRIPPED
---	CONCRETE
---	PERVIOUS CONCRETE
---	NEW ASPHALT PAVEMENT

Approved Construction Plan

Name: _____ Date: _____

City of Wilmington
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit #: _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

OVERALL SITE PLAN
NHRMC EMPLOYEE PARKING DECK
WITH PEDESTRIAN BRIDGE
2026 S. 16TH STREET
WILMINGTON, N. C.

OWNER/DEVELOPER
 NHRMC
 P.O. BOX 9000
 WILMINGTON, NC 28402
 910 343-2788

NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.

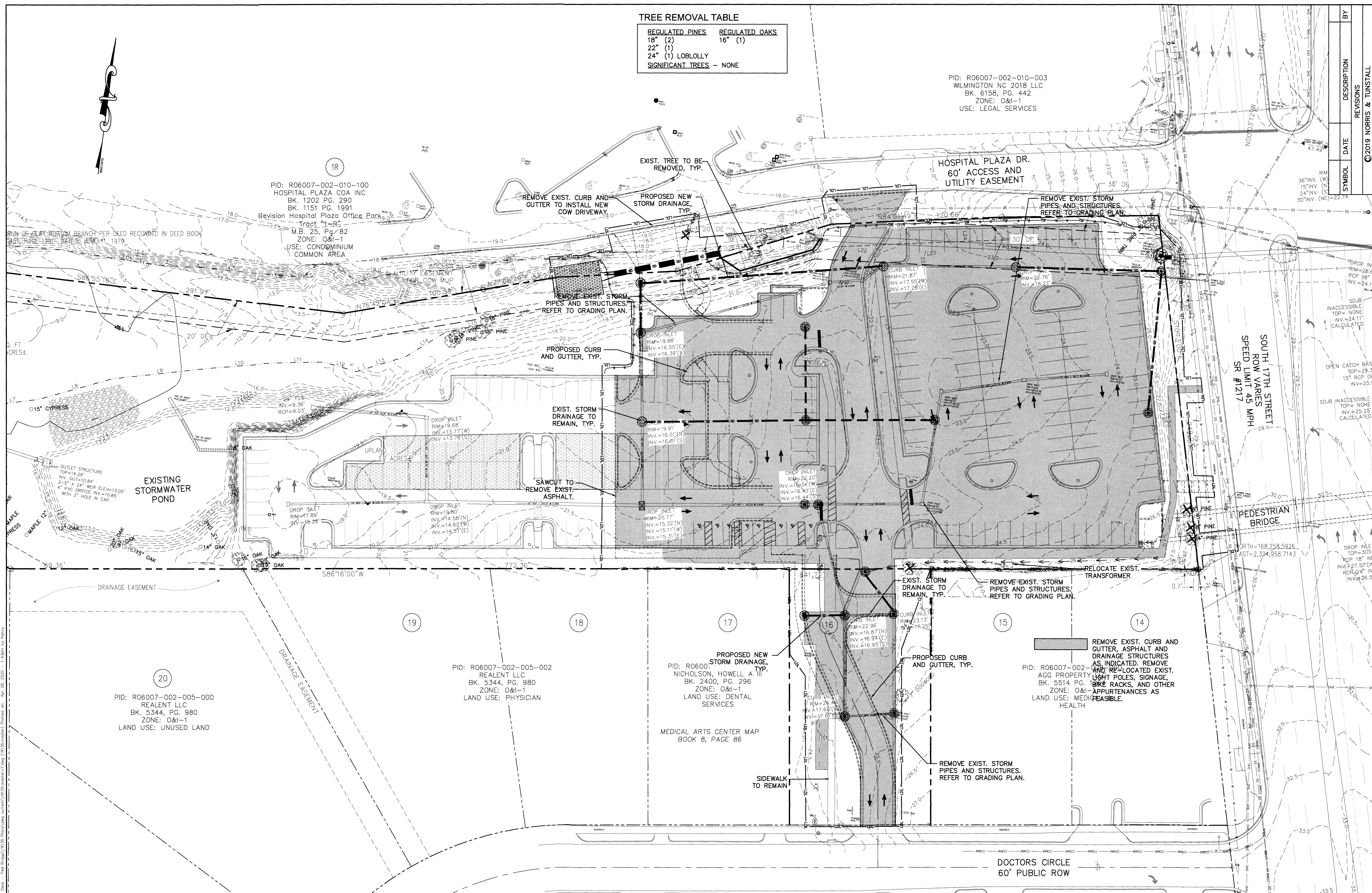
2602 IRON GATE DR., SUITE 102
 WILMINGTON, NC 28403
 ASH, NC 28420
 PHONE (910) 343-9653

License #C-3641
19135
 DES. JST
 CKD. JPN
 DRWN. NKS
 DATE 4/28/20

SCALE: 1" = 50'

0 50 100 150

CO



TREE REMOVAL TABLE

REGULATED PINES	REGULATED OAKS
18" (2)	16" (1)
22" (1)	
24" (1) LOBLOLLY	
SIGNIFICANT TREES - NONE	

PID: R06007-002-010-003
 WILMINGTON NC 2018 LLC
 BK. 6158, PG. 442
 ZONE: O&I-1
 USE: LEGAL SERVICES

PID: R06007-002-010-100
 HOSPITAL PLAZA COA INC
 BK. 1202 PG. 290
 Revision Hospital Plaza Office Park
 Tract "1-R"
 M.B. 25, Pg. 82
 ZONE: O&I-1
 USE: CONDOMINIUM
 COMMON AREA

PID: R06007-002-005-000
 REALENT LLC
 BK. 5344, PG. 980
 ZONE: O&I-1
 LAND USE: UNUSED LAND

PID: R06007-002-005-002
 REALENT LLC
 BK. 5344, PG. 980
 ZONE: O&I-1
 LAND USE: PHYSICIAN

PID: R06007-002-005-003
 NICHOLSON, HOWELL A III
 BK. 2400, PG. 296
 ZONE: O&I-1
 LAND USE: DENTAL
 SERVICES

PID: R06007-002-005-004
 AGG PROPERTY LLC
 BK. 5514 PG. 980
 ZONE: O&I-1
 LAND USE: MEDICAL
 HEALTH

BY	DESCRIPTION	DATE	REVISIONS

DEMOLITION PLAN
 NHRMC EMPLOYEE PARKING DECK
 WITH PEDESTRIAN BRIDGE
 2026 S. 16TH STREET WILMINGTON, N. C.

OWNER/DEVELOPER
 NHRMC
 P.O. BOX 9000
 WILMINGTON, NC 28402
 910 343-2788

NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.
 2602 IRON GATE DR., SUITE 102
 WILMINGTON, NC 28403
 PHONE (910) 343-9653

License #C-3641
19135
 DES. JST
 C.D. JPN
 DRWN. NKS
 DATE 4/28/20

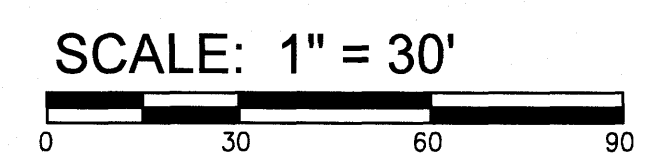
Approved Construction Plan
 Name _____ Date _____



Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NC DENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

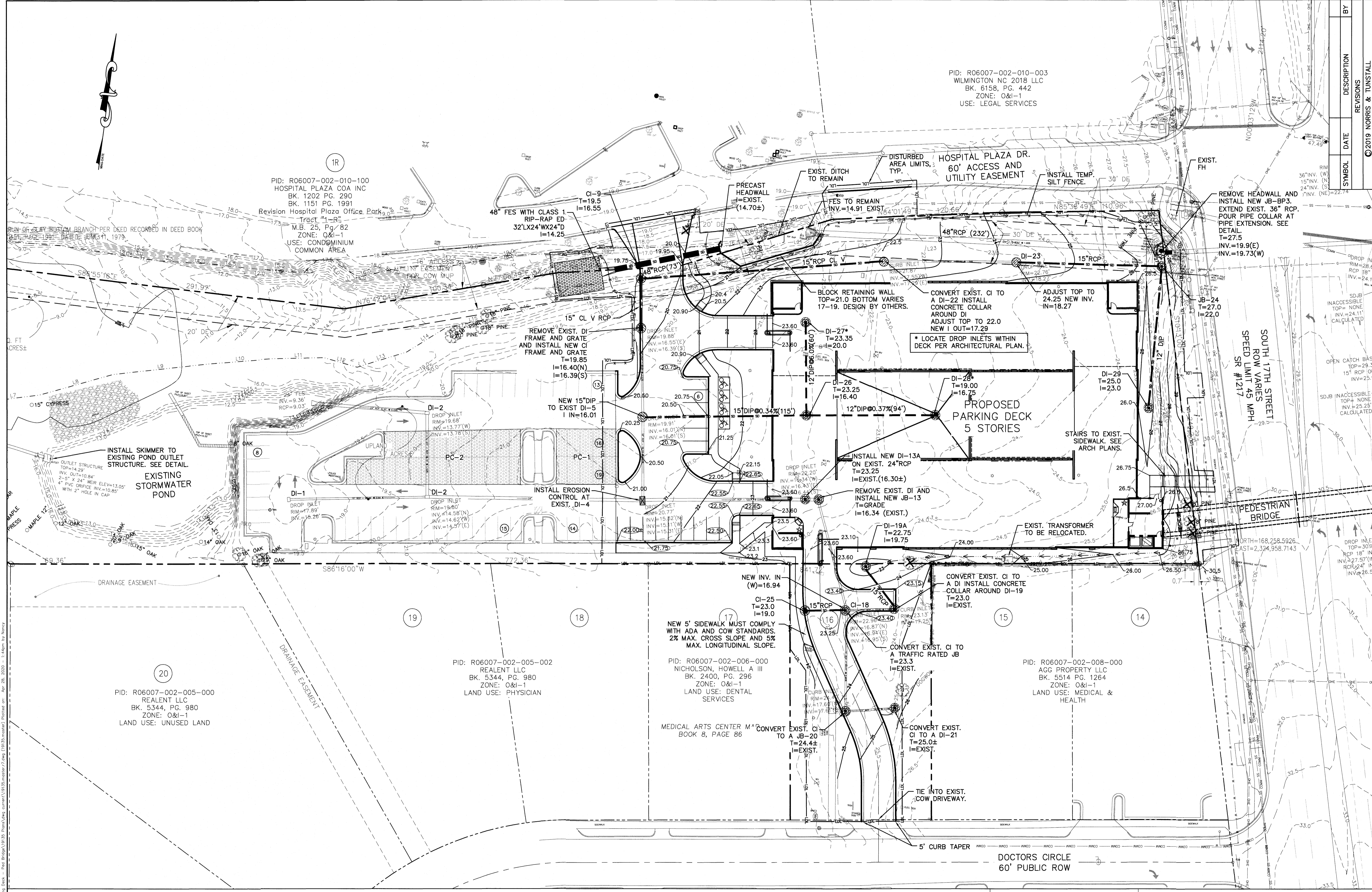


C1



PID: R06007-002-010-003
 WILMINGTON NC 2018 LLC
 BK. 6158, PG. 442
 ZONE: O&I-1
 USE: LEGAL SERVICES

PID: R06007-002-010-100
 HOSPITAL PLAZA COA INC
 BK. 1202 PG. 290
 BK. 1151 PG. 1991
 Revision Hospital Plaza Office Park
 Tract 1-R
 M.B. 25, Pg. 82
 ZONE: O&I-1
 USE: CONDOMINIUM
 COMMON AREA



BY	REVISIONS	DESCRIPTION	DATE	SYMBOL

GRADING, DRAINAGE AND EROSION CONTROL PLAN
 NHRMC EMPLOYEE PARKING DECK
 WITH PEDESTRIAN BRIDGE
 2026 S. 16TH STREET WILMINGTON, N. C.

OWNER/DEVELOPER
 NHRMC
 P.O. BOX 9000
 WILMINGTON, NC 28402
 910 343-2788

NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.
 2602 IRON GATE DR., SUITE 102
 WILMINGTON, NC 28403
 PHONE (910) 343-9653

19135

DES.	JST
CRD.	JPN
DRWN.	NKS
DATE	4/28/20

C2

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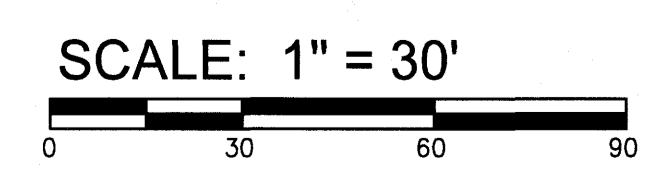
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NC DENR PWSS WATER PERMIT # _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT # _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____





PID: R06007-002-010-100
 HOSPITAL PLAZA COA INC
 BK. 1202 PG. 290
 BK. 1151 PG. 1991
 Revision Hospital Plaza Office Park
 Tract "1-R"
 M.B. 25, Pg. 82
 ZONE: O&I-1
 USE: CONDOMINIUM
 COMMON AREA

PID: R06007-002-010-003
 WILMINGTON NC 2018 LLC
 BK. 6158, PG. 442
 ZONE: O&I-1
 USE: LEGAL SERVICES

NEW OFF SITE
 IMPERVIOUS=888 SF

HOSPITAL PLAZA DR.
 60' ACCESS AND
 UTILITY EASEMENT

SYMBOL	DATE	DESCRIPTION	BY
36" INV. (W)			
15" INV. (N)			
24" INV. (S)			
30" INV. (NE)			

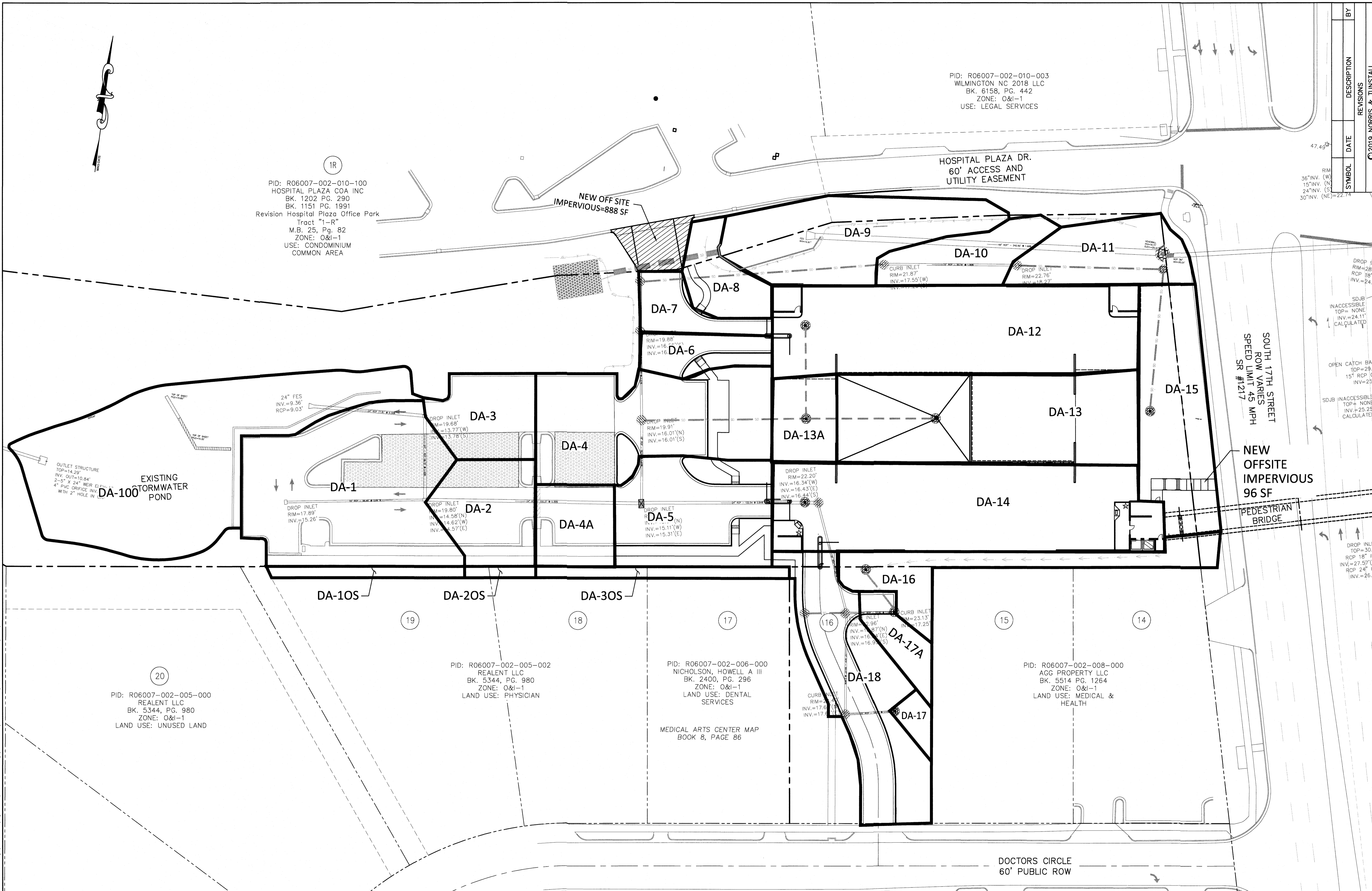
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DRAINAGE AREA PLAN
 NHRMC EMPLOYEE PARKING DECK
 WITH PEDESTRIAN BRIDGE
 2026 S. 16TH STREET WILMINGTON, N. C.

OWNER/DEVELOPER
 NHRMC
 P.O. BOX 9000
 WILMINGTON, NC 28402
 910-343-2788

NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.
 2602 IRON GATE DR., SUITE 102
 WILMINGTON, NC 28403
 PHONE (910) 343-9653

Licence #C-3641
19135
 DES. JST
 CDD. JPN
 DRWN. NKS
 DATE 5/1/20



PID: R06007-002-005-000
 REALENT LLC
 BK. 5344, PG. 980
 ZONE: O&I-1
 LAND USE: UNUSED LAND

PID: R06007-002-005-002
 REALENT LLC
 BK. 5344, PG. 980
 ZONE: O&I-1
 LAND USE: PHYSICIAN

PID: R06007-002-006-000
 NICHOLSON, HOWELL A III
 BK. 2400, PG. 296
 ZONE: O&I-1
 LAND USE: DENTAL
 SERVICES
 MEDICAL ARTS CENTER MAP
 BOOK 8, PAGE 86

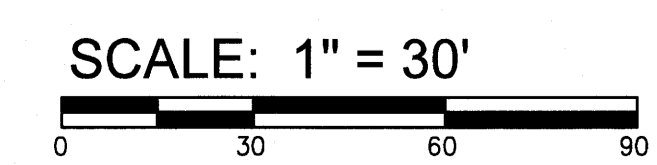
PID: R06007-002-008-000
 AGG PROPERTY LLC
 BK. 5514 PG. 1264
 ZONE: O&I-1
 LAND USE: MEDICAL &
 HEALTH

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____



C2.1

G:\projects\2019\19135_NHRMC_Parking_Deck - Ped Bridge\19135_Plan\19135-master.dwg (19135-master) Plotted on: May 01, 2020 - 8:11am by Nancy

PID: R06007-002-010-003
 WILMINGTON NC 2018 LLC
 BK. 6158, PG. 442
 ZONE: O&I-1
 USE: LEGAL SERVICES

UTILITY NOTES FOR FIRE HYDRANTS:

1. FIRE HYDRANTS MUST BE WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION.
2. THE FIRE DEPARTMENT CONNECTION MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
3. LANDSCAPING AND PARKING CANNOT BLOCK OR IMPEDE THE FIRE DEPARTMENT CONNECTIONS OR FIRE HYDRANTS. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE FIRE HYDRANT CONNECTION AND THE FIRE HYDRANT.
4. FIRE HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
5. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS.
6. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
7. THE CONTRACTOR WILL MAINTAIN ALL-WEATHER EMERGENCY ACCESS TO CONSTRUCTION SITE AT ALL TIMES.
8. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.
9. UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
10. A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
11. HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF THE STRUCTURE.
12. ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
13. THE CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SEC. 510 OF THE 2018 FIRE CODE.
14. BUILDING CONSTRUCTION TYPE: II-B
15. PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696
16. ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM MUST BE ELECTRICALLY SUPERVISED.

BY	DESCRIPTION
	REVISIONS
	DATE
	SYMBOL

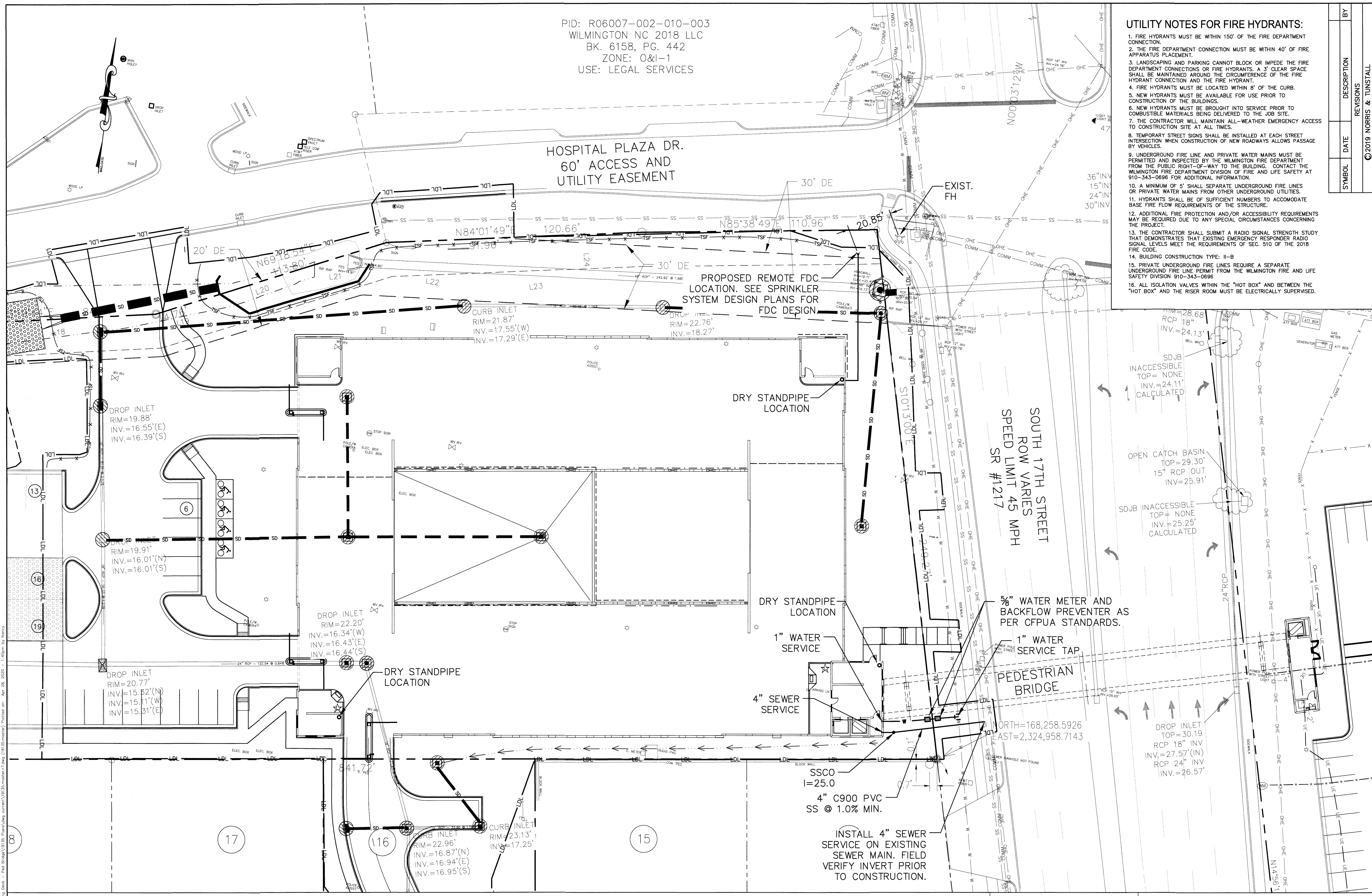
UTILITY PLAN
 NHRMC EMPLOYEE PARKING DECK
 WITH PEDESTRIAN BRIDGE
 2026 S. 16TH STREET WILMINGTON, N. C.

OWNER/DEVELOPER
 NHRMC
 P.O. BOX 9000
 WILMINGTON, NC 28402
 910 343-2788

NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.
 2602 IRON GATE DR., SUITE 102 1429 ASH-LITTLE RIVER RD. NW
 WILMINGTON, NC 28403 ASH, NC 28420
 PHONE (910) 343-9653 PHONE (910) 287-5900

Licence #C-3641
19135
 DES. JST
 CRD. JPN
 DRWN. NKS
 DATE 4/28/20

C3



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #:	_____
WATER CAPACITY:	_____ GPD
DWQ SEWER PERMIT #:	_____
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	_____
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

Approved Construction Plan

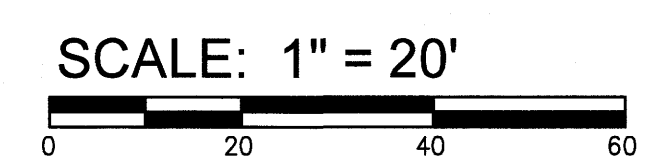
Name _____ Date _____

Planning _____

Traffic _____

Fire _____

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____





PID: R06007-002-010-003
 WILMINGTON NC 2018 LLC
 BK. 6158, PG. 442
 ZONE: O&I-1
 USE: LEGAL SERVICES

1R
 PID: R06007-002-010-100
 HOSPITAL PLAZA COA INC
 BK. 1202 PG. 290
 BK. 1151 PG. 1991
 Revision Hospital Plaza Office Park
 Tract "1-R"
 M.B. 25, Pg. 82
 ZONE: O&I-1
 USE: CONDOMINIUM
 COMMON AREA

EXISTING
 STORMWATER
 POND

20
 PID: R06007-002-005-000
 REALENT LLC
 BK. 5344, PG. 980
 ZONE: O&I-1
 LAND USE: UNUSED LAND

PID: R06007-002-005-002
 REALENT LLC
 BK. 5344, PG. 980
 ZONE: O&I-1
 LAND USE: PHYSICIAN

PID: R06007-002-006-000
 NICHOLSON, HOWELL A III
 BK. 2400, PG. 296
 ZONE: O&I-1
 LAND USE: DENTAL
 SERVICES

MEDICAL ARTS CENTER M. TIE INTO EXIST.
 5' SIDEWALK
 BOOK 8, PAGE 86

PID: R06007-002-008-000
 AGG PROPERTY LLC
 BK. 5514 PG. 1264
 ZONE: O&I-1
 LAND USE: MEDICAL &
 HEALTH

HOSPITAL PLAZA DR.
 60' ACCESS AND
 UTILITY EASEMENT

PROPOSED
 PARKING DECK
 5 STORIES

DOCTORS CIRCLE
 60' PUBLIC ROW

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

LAYOUT PLAN
 NHRMC EMPLOYEE PARKING DECK
 WITH PEDESTRIAN BRIDGE
 2026 S. 16TH STREET WILMINGTON, N. C.

OWNER/DEVELOPER
 NHRMC
 P.O. BOX 9000
 WILMINGTON, NC 28402
 910.343.2788

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DES. JST
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 WATER CAPACITY: _____ GPD
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Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

SCALE: 1" = 30'
 0 30 60 90

C4

DATE: JUNE 1, 2015
DRAWN BY: JSR
CHECKED BY: D.E.P.E.
SCALE: NOT TO SCALE

COMMERCIAL DRIVEWAY PLAN

STANDARD DETAIL

INSET

COMMERCIAL DRIVEWAY

SD 3-03.3

DATE: JUNE 1, 2015
DRAWN BY: JSR
CHECKED BY: D.E.P.E.
SCALE: NOT TO SCALE

COMMERCIAL DRIVEWAY SECTIONS

STANDARD DETAIL

2 of 2

SECTION B-B

SECTION A-A

COMMERCIAL DRIVEWAY

SD 3-03.4

OBLIQUE VIEW VERTICAL CURB AND GUTTER

1/2" FILLED EXPANSION JOINT

CONTRACTION JOINT (1/4" X 1" DEEP SCORE)

VERTICAL CURB AND GUTTER

SLOPE CURB

MEDIAN VERTICAL CURB AND GUTTER

VERTICAL CURB

GRANITE CURB

VALLEY CURB

HEADER CURB

NOTES:

- EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
- 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING.
- MINIMUM INSTALLATION LENGTH IS 5 FT.
- CONCRETE TO BE 3000 PSI MIN.
- VERTICAL CURB AND GUTTER BASE CAN BE SLOPED 3/4" OR USE A FLAT BASE.

STANDARD DETAIL

CURBING

DATE: AUGUST, 2011
DRAWN: PBJ/SR
CHECKED: DEC
SCALE: NOT TO SCALE

WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
P.O. BOX 1810
WILMINGTON, N.C. 28402
(910) 341-7807

SD 3-11

FILLED EXPANSION JOINT

CONTROL JOINT

SECTION A-A

SECTION B-B

NOTES:

- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
- SAWTOOTH SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK, WHERE FEASIBLE.
- MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
- CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
- MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
- 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
- MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
- MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
- MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2% MAX LONGITUDINAL SLOPE IS 0.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

STANDARD DETAIL

SIDEWALK

DATE: OCTOBER, 2010
DRAWN: PBJ/SR
CHECKED: DEC
SCALE: NOT TO SCALE

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SD 3-10

STANDARD PARALLEL CROSSWALK

SPECIAL EMPHASIS CROSSWALK

HIGH VISIBILITY CROSSWALK

STOP BAR ONLY

1-TYPICAL CROSSWALK DIMENSIONS ARE PROVIDED FOR REFERENCE. ALL APPLICATIONS SHALL CONSIDER PEDESTRIAN, BICYCLE AND TRAFFIC CONDITIONS AND ARE SUBJECT TO ADA GUIDELINES AND MATERIAL SPECIFICATIONS. LAYOUTS SHALL BE DIRECTED BY THE ENGINEER.

2-GENERALLY, STANDARD PARALLEL CROSSWALKS TO BE USED AT SIGNALIZED INTERSECTIONS OR WHERE CROSSWALK TRAFFIC OR CONFLICT POINTS ARE AVERAGE. SPECIAL EMPHASIS CROSSWALKS AND HIGH VISIBILITY CROSSWALKS ARE NEEDED AT BUSY SIGNALIZED INTERSECTIONS AND WHERE BICYCLE AND PEDESTRIAN TRAFFIC REQUIRES INCREASED VISIBILITY.

STANDARD DETAIL

CROSSWALK PAVEMENT MARKINGS

DATE: FEBRUARY, 2012
DRAWN BY: JSR
CHECKED BY: HJR, P.E.
SCALE: NOT TO SCALE

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(910) 341-7807

SD 11-11

NOTE:

- RAMP SHALL HAVE A DETECTABLE WARNING COMPLYING WITH ADA GUIDELINES. "COLONIAL RED" COLOR FOR DOME.
- THE DETECTABLE WARNINGS AT CURB RAMPS SHALL BE 24 INCHES MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE MARKED CROSSING.
- MARKED CROSSINGS THAT ARE RAISED TO THE SAME LEVEL AS THE ADJOINING SIDEWALK SHALL BE PRECEDED BY A 24 INCH DEEP DETECTABLE WARNING EXTENDING THE FULL WIDTH OF THE MARKED CROSSING.
- DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23 MM), A HEIGHT OF NOMINAL 0.2 IN (5 MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60 MM) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHOULD CONTRAST BY AT LEAST 70% - REFER TO ADA GUIDELINES FOR DEFINITION OF "CONTRAST".
- THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON INTERIOR SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT.

DETECTABLE-WARNING NOTES

LANDSCAPE AREA OR PERMANENTLY INSTALLED ELEMENT.

CONCRETE SIDEWALK 48" MIN.

RAMP UP 1:12 MAX.

6'

48" MIN.

1' RAD. TYP.

IF PEDESTRIANS DO NOT CROSS THE CURB CUT, THEN SIDE FLARES ARE NOT REQUIRED AND CURB ON BOTH SIDES MAY RETURN FOR FULL DEPTH OF THE CURB CUT.

* SEE NOTES ON DETECTABLE WARNING

SIDEWALK, CURB CUT AND WHEEL CHAIR RAMP DETAIL

NOT TO SCALE

DATE: AUGUST, 2011
DRAWN: PBJ/SR
CHECKED: DEC
SCALE: NOT TO SCALE

WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
P.O. BOX 1810
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(910) 341-7807

SD 3-11

DATE: FEBRUARY, 2012
DRAWN BY: JSR
CHECKED BY: HJR, P.E.
SCALE: NOT TO SCALE

NOTES:

- 8.33% (12:1) MAX. RAMP SLOPE
- CROSS SLOPE: 2.00%
- CURB RAMPS REQUIRE A (4'-0") MIN. LANDING WITH A MAX. CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.

6"X12" CONC. CURB

DETECTABLE WARNING SURFACE

8.33% (12:1) MAX. RAMP SLOPE

5' MAX LANDING

4' MIN. LANDING

DETECTABLE WARNING SURFACE WHEN 5' MAX. CANNOT BE MET.

CONC. DEPRESSED CURB

DEPRESSED 2'-6" CURB & GUTTER 8.33% (12:1) MAX. SLOPE

GRADE BREAK

WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
P.O. BOX 1810
WILMINGTON, N.C. 28402
(910) 341-7807

SD 11-11

DATE: OCTOBER, 2010
DRAWN: PBJ/SR
CHECKED: DEC
SCALE: NOT TO SCALE

DETECTABLE-WARNING NOTES

LANDSCAPE AREA OR PERMANENTLY INSTALLED ELEMENT.

CONCRETE SIDEWALK 48" MIN.

RAMP UP 1:12 MAX.

6'

48" MIN.

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IF PEDESTRIANS DO NOT CROSS THE CURB CUT, THEN SIDE FLARES ARE NOT REQUIRED AND CURB ON BOTH SIDES MAY RETURN FOR FULL DEPTH OF THE CURB CUT.

* SEE NOTES ON DETECTABLE WARNING

SIDEWALK, CURB CUT AND WHEEL CHAIR RAMP DETAIL

NOT TO SCALE

DATE: AUGUST, 2011
DRAWN: PBJ/SR
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WILMINGTON NORTH CAROLINA
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SD 3-11

CITY OF WILMINGTON STANDARD NOTES:

- CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. POSTED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- CONTACT 911 PRIOR TO CONTACTING THE CITY OF WILMINGTON TRAFFIC ENGINEERING REGARDING THE UTILITIES IN THE RIGHT-OF-WAY.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5899 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING WILL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6558 FOR INFORMATION.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCCHHR OR ASSE.
- WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED SINGLE STRAND COPPER WIRE INSTALLED THE ENTIRE LENGTH AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
- THE NUMBER AND SPACING OF DRIVEWAYS FOR ALL INTERCONNECTED SITES WILL BE DETERMINED BY THE COMBINED FRONTAGE OF THE INTERCONNECTED PROPERTIES.
- UNDERGROUND FIRE LINE MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC ROW TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
- A LANDSCAPE PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEER DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT. STREET TREES MUST BE LOCATED A MINIMUM OF 15' FROM STREET LIGHTS.
- IF AN IRRIGATION SYSTEM IS PLANNED FOR THE SITE, UTILIZE MOISTURE SENSORS.
- ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
- PLEASE CONSIDER INCORPORATING XERIC LANDSCAPING FOR ALL NEW LANDSCAPING.
- THE CONTRACTOR WILL MAINTAIN ALL-WEATHER EMERGENCY ACCESS TO CONSTRUCTION SITE AT ALL TIMES.

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WILMINGTON NORTH CAROLINA
Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

NCDENR PWSS WATER PERMIT # _____ GPD

WATER CAPACITY: _____ GPD

DWQ SEWER PERMIT # _____

SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT: _____

SEWER TO FLOW THROUGH: YES or NO (CIRCLE ONE)

NOTES AND DETAILS
NHRMC EMPLOYEE PARKING DECK
WITH PEDESTRIAN BRIDGE
2026 S. 16TH STREET WILMINGTON, N. C.

OWNER/DEVELOPER
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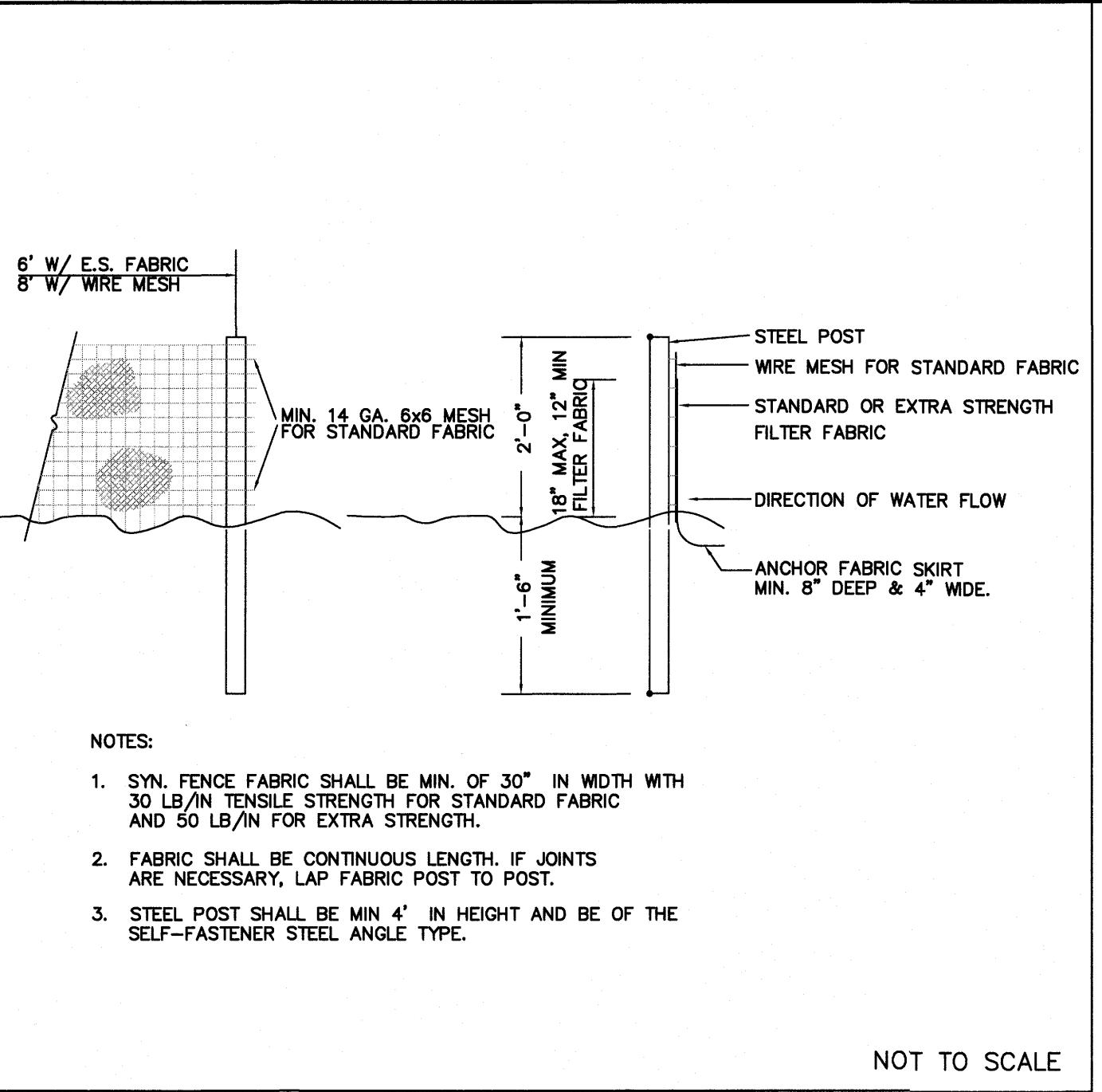
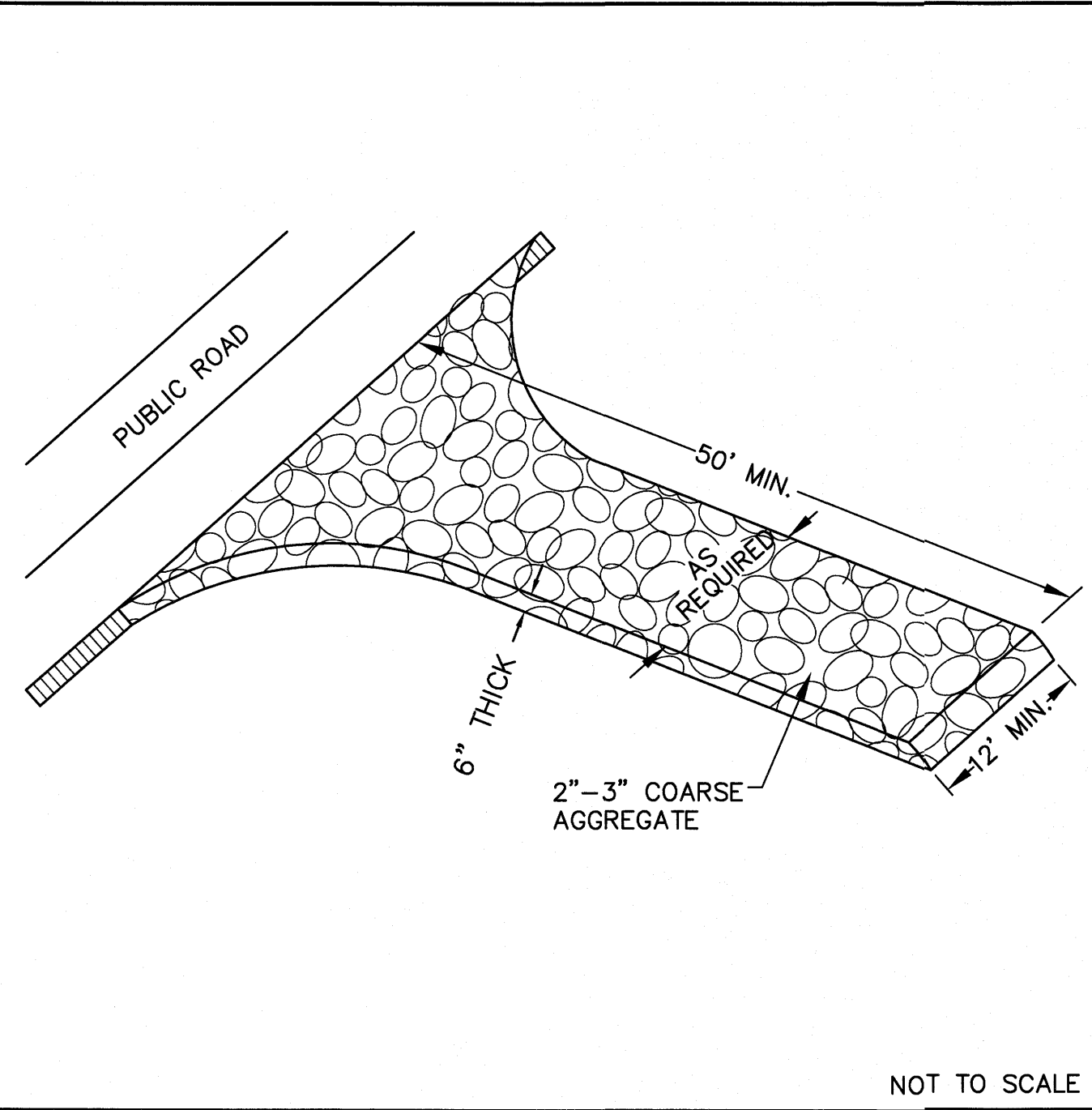
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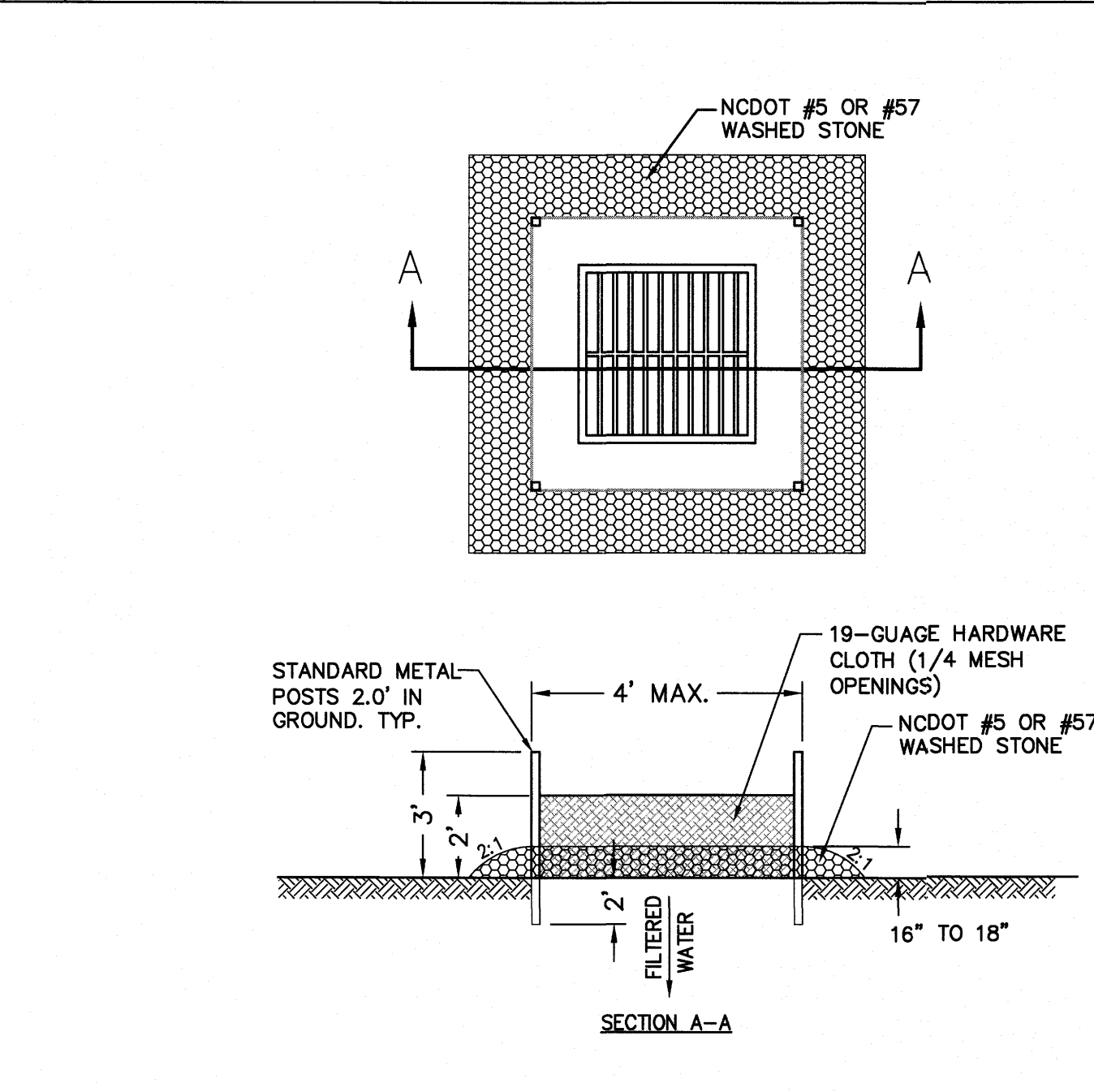
DATE 4/28/20

C5



1 TEMPORARY GRAVELLED CONSTRUCTION ENTRANCE

2 TEMPORARY SILT FENCE

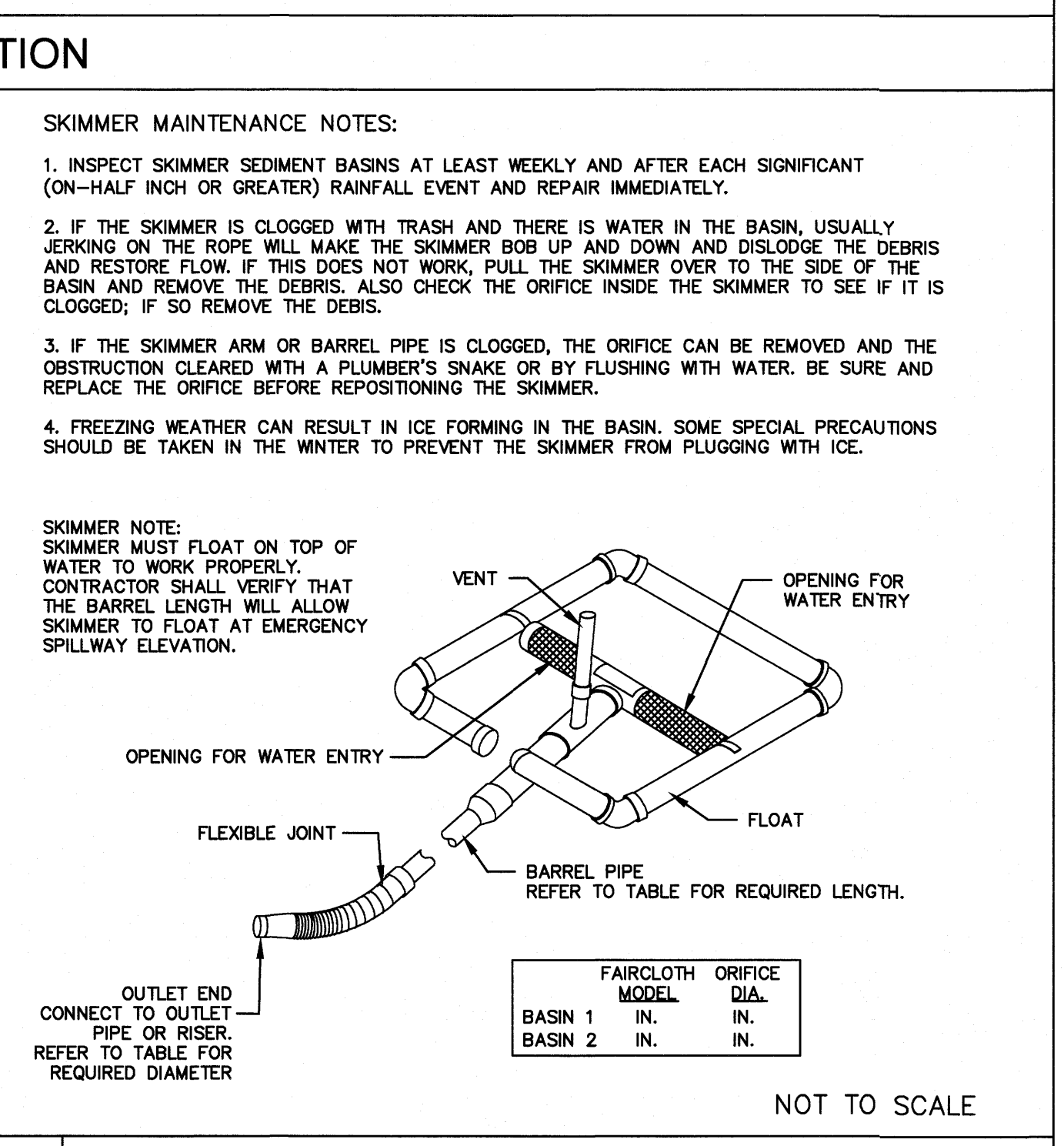


CONSTRUCTION SEQUENCE:

- UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
- DRIVE 5" STEEL POST 2' INTO THE GROUND SURROUNDING THE INLET. SPACE POST EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4' APART.
- SURROUND THE POST WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POST AT THE TOP, MIDDLE AND BOTTOM. PLACING A 2" FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
- PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16" TO 18" AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
- ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
- COMPACT THE AREA PROPERLY AND STABILIZE IT WITH GROUND COVER.

MAINTENANCE:
INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS. REPLACE STONE WHEN IT NO LONGER DRAINS AS DESIGNED.

3 HARDWARE CLOTH AND GRAVEL INLET PROTECTION



5 STANDARD SKIMMER DETAIL

4 ENERGY DISSIPATOR DETAIL

TEMPORARY SEEDING RECOMMENDATIONS FOR FALL

SEEDING MIXTURE SPECIES	RATE (lb/acre)	(lb/1000 sf)
RYE (GRAIN)	120	2.75

SEEDING DATES:
MOUNTAINS - AUG. 15 - DEC. 15
COASTAL PLAIN AND PIEDMONT - AUG. 15 - DEC. 15

SOIL AMENDMENTS:
FOLLOW SOIL TEST OR APPLY 2,000 lb/acre GROUND AGRICULTURAL LIMESTONE AND 1,000 lb/acre 10-10-10 FERTILIZER.

MULCH:
APPLY 4,000 lb/acre STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
REPAIR AND FERTILIZER DAMAGE AREAS IMMEDIATELY. TOP DRESS WITH 50 lb/acre OF NITROGEN IN MARCH, IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 lb/acre KOBE (PIEDMONT AND COASTAL PLAIN) OR KOREAN (MOUNTAINS) LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

TEMPORARY SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING

SEEDING MIXTURE SPECIES	RATE (lb/acre)	(lb/1000 sf)
RYE (GRAIN)	120	2.75
ANNUAL LESPEDEZA	50	1.15

SEEDING DATES:
MOUNTAINS - MAY 15 - AUG. 15
PIEDMONT - MAY 1 - AUG. 15
COASTAL PLAIN - APR. 15 - AUG. 15

SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 lb/acre GROUND AGRICULTURAL LIMESTONE AND 750 lb/acre 10-10-10 FERTILIZER.

MULCH:
APPLY 4,000 lb/acre STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

TEMPORARY SEEDING RECOMMENDATIONS FOR FALL AND EARLY SPRING

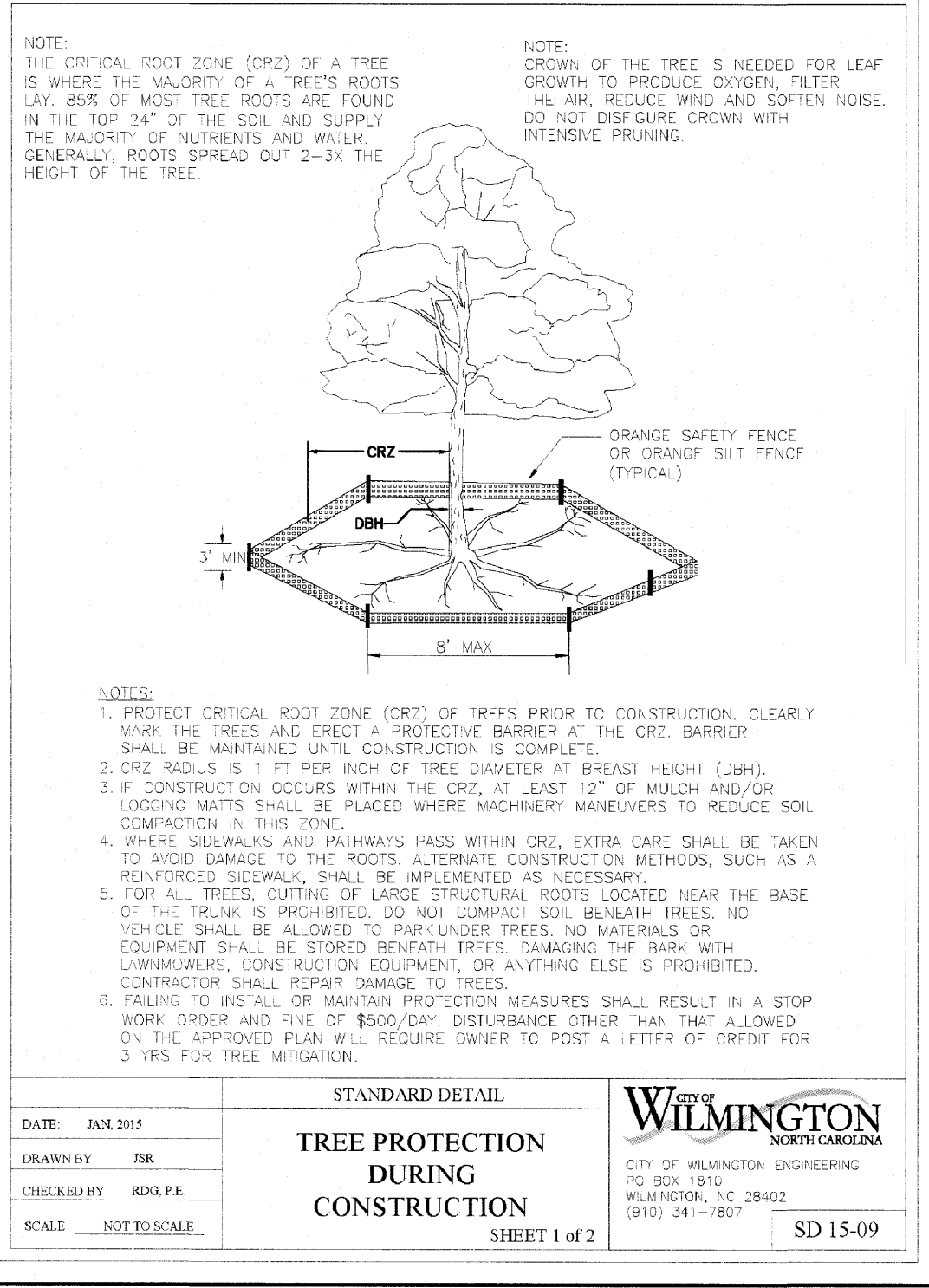
SEEDING MIXTURE SPECIES	RATE (lb/acre)	(lb/1000 sf)
TALL FESCUE	80	1.84
PENSACOLA BAHIAGRASS	50	1.15
SERICA LESPEDEZA	30	0.69
KOBE LESPEDEZA	10	0.23

SEEDING DATES:
BEST: FEB 15-MAR. 20
POSSIBLE: FEB 15-APR. 30
FALL: SEPT. 1-SEPT. 30
SEPT. 1-OCT. 31

SOIL AMENDMENTS:
APPLY LIME AND FERTILIZE ACCORDING TO SOIL TESTS, OR APPLY 3,000-5,000 lbs/acre (68.9-114.9 lbs/1,000 sf) GROUND AGRICULTURAL LIMESTONE (USE THE LOWER RATE ON SANDY SOILS) AND 1,000 lbs/acre (22.9 lbs/1,000 sf) 10-10-10 FERTILIZER.

MULCH:
APPLY 4,000 lb/acre (91.8 lbs/1,000 sf) GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
IF GROWTH IS LESS THAN FULLY ADEQUATE, REFERTILIZE IN THE SECOND YEAR, ACCORDING TO SOIL TESTS OR TOPDRESS WITH 500 lbs/acre (11.5 lbs/1,000 sf) 10-10-10 FERTILIZER. MOW AS NEEDED WHEN SERICIA IS OMITTED FROM THE MIXTURE. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.



PERMANENT SEEDING RECOMMENDATIONS FOR FALL AND EARLY SPRING

SEEDING MIXTURE SPECIES	RATE (lb/acre)	(lb/1000 sf)
TALL FESCUE	80	1.84
PENSACOLA BAHIAGRASS	50	1.15
SERICA LESPEDEZA	30	0.69
KOBE LESPEDEZA	10	0.23

SEEDING DATES:
BEST: FEB 15-MAR. 20
POSSIBLE: FEB 15-APR. 30
FALL: SEPT. 1-SEPT. 30
SEPT. 1-OCT. 31

SOIL AMENDMENTS:
APPLY LIME AND FERTILIZE ACCORDING TO SOIL TESTS, OR APPLY 3,000-5,000 lbs/acre (68.9-114.9 lbs/1,000 sf) GROUND AGRICULTURAL LIMESTONE (USE THE LOWER RATE ON SANDY SOILS) AND 1,000 lbs/acre (22.9 lbs/1,000 sf) 10-10-10 FERTILIZER.

MULCH:
APPLY 4,000 lb/acre (91.8 lbs/1,000 sf) GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
IF GROWTH IS LESS THAN FULLY ADEQUATE, REFERTILIZE IN THE SECOND YEAR, ACCORDING TO SOIL TESTS OR TOPDRESS WITH 500 lbs/acre (11.5 lbs/1,000 sf) 10-10-10 FERTILIZER. MOW AS NEEDED WHEN SERICIA IS OMITTED FROM THE MIXTURE. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.

PERMANENT SEEDING RECOMMENDATIONS FOR LATE SPRING AND EARLY SUMMER

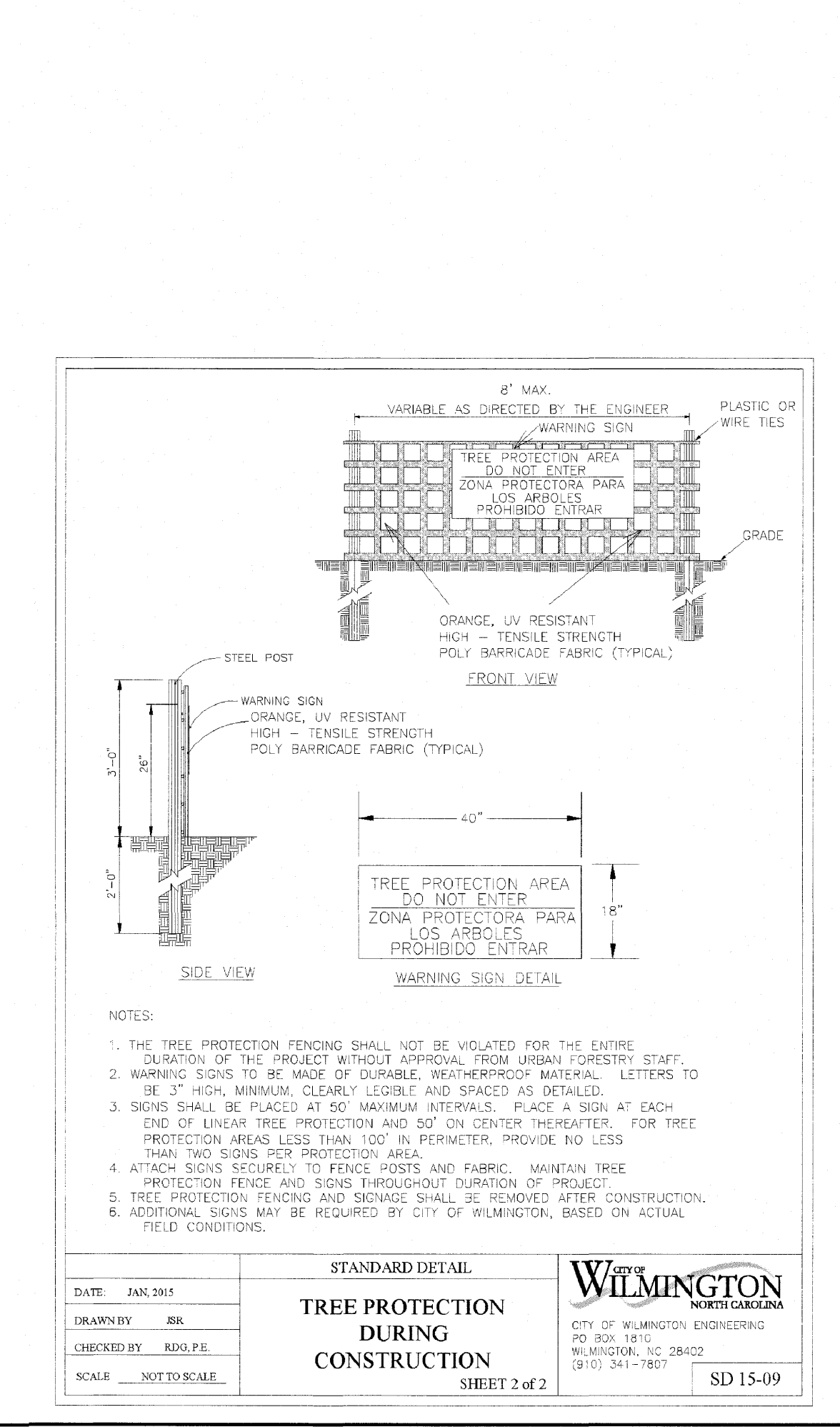
SEEDING MIXTURE SPECIES	RATE (lb/acre)	(lb/1000 sf)
PENSACOLA BAHIAGRASS	50	1.15
SERICA LESPEDEZA	30	0.69
COMMON BERMUDEA	10	0.23
GERMAN MILLET	10	0.23

SEEDING DATES:
BEST: FEB 15-MAR. 20
POSSIBLE: FEB 15-APR. 30
FALL: SEPT. 1-SEPT. 30
SEPT. 1-OCT. 31

SOIL AMENDMENTS:
APPLY LIME AND FERTILIZE ACCORDING TO SOIL TESTS, OR APPLY 3,000 lbs/acre (68.9 lbs/1,000 sf) GROUND AGRICULTURAL LIMESTONE AND 500 lbs/acre (11.5 lbs/1,000 sf) 10-10-10 FERTILIZER.

MULCH:
APPLY 4,000 lb/acre (91.8 lbs/1,000 sf) GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
REFERTILIZE THE FOLLOWING APRIL WITH 50 lbs/acre (1.15 lbs/1,000 sf) NITROGEN. REPEAT AS GROWTH REQUIRES. MAY BE MOWED ONLY ONCE A YEAR, WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICIA AND MOW AS OFTEN AS NEEDED.



EROSION CONTROL NOTES AND MAINTENANCE PLAN:

- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF-INCH RAINFALL.
- ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED UNDER THE FOLLOWING CONDITIONS: TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE, IMMEDIATELY REMOVE OBJECTIONABLE MATERIALS SPILLED WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
- SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND WATTLERS, BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
- DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE, THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF-FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
- SEDIMENT WILL BE REMOVED FROM SEDIMENT TRAPS WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. THE ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR WHEN THE ROCK IS DISLODGED. Baffles WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED AND KEPT CLEAN WEEKLY.
- SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN WHEN THE DESIGN STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR IF THE ROCK IS DISLODGED. Baffles WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED FROM Baffles WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN.
- LAND QUALITY REQUIRES:
ALL SEEDING AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED, ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN, TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS.
WATER QUALITY REQUIRES:
ALL SEEDING AREAS WILL BE FERTILIZED, RESEED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, ALL SLOPES STEEPER THAN 3:1 HORIZONTAL TO 1:1 VERTICAL (3:1) AND ALL HIGH QUALITY WATER (HOW) ZONES SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN SEVEN (7) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
- FLOCCULANTS WILL BE USED TO ADDRESS TURBIDITY ISSUES. THE PUMPS, TANKS, HOSES AND INJECT SYSTEMS WILL BE CHECKED FOR PROBLEMS OR TURBID DISCHARGES DAILY.
- BASIN OUTLET STRUCTURES AND SKIMMERS SHALL WITHDRAW WATER FROM THE SURFACE.
- CONCRETE WASHOUTS SHOULD BE INSPECTED DAILY AND AFTER HEAVY RAINS. DAMAGES SHOULD BE REPAIRED PROMPTLY, IF FILLED TO OVER 75% CAPACITY WITH RAIN WATER IT SHOULD BE VACUUMED OR ALLOWED TO EVAPORATE TO AVOID OVERFLOWS. BEFORE HEAVY RAINS THE CONTAINERS LIQUID LEVEL SHOULD BE LOWERED OR THE CONTAINER COVERED TO AVOID AN OVER FLOW DURING RAIN. WHEN SOLIDS HAVE HARDENED THEY SHOULD BE REMOVED AND RECYCLED.

NOTES AND DETAILS
NHRMC EMPLOYEE PARKING DECK WITH PEDESTRIAN BRIDGE
2026 S. 16TH STREET WILMINGTON, N. C.

OWNER/DEVELOPER
NHRMC
P.O. BOX 9000
WILMINGTON, NC 28402
910 343-2788

CONSULTING ENGINEERS P.C.
NORRIS & TUNSTALL
2600 IRON GATE DR. SUITE 102
WILMINGTON, NC 28405
PHONE: (910) 343-9633

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

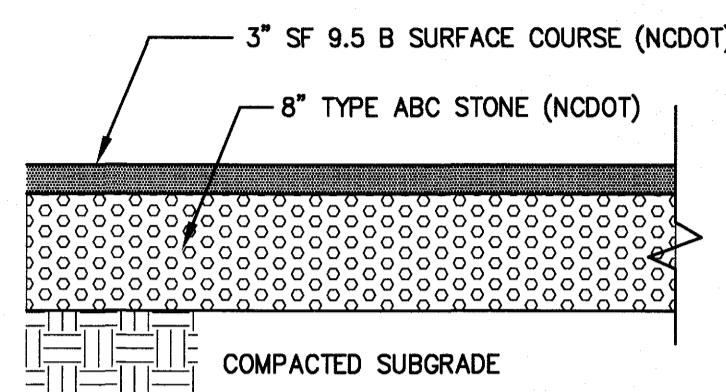
City of Wilmington
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: Permit #
Signed: _____
Name Date

Planning _____
Traffic _____
Fire _____

NCDNR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

C5.2



NOTES:
 1. PAVEMENT SECTIONS SHALL BE DETERMINED WITH CONSULTATION FROM THE GEOTECHNICAL ENGINEER AND ONLY PER THEIR RECOMMENDATIONS. PAVEMENT DETAIL SECTIONS SHOWN ARE MINIMUMS AND MAY BE STRENGTHENED PER GEOTECHNICAL ENGINEERS RECOMMENDATIONS.
 2. REFERENCE GEOTECHNICAL REPORT FOR UNDERCUTTING IN AREAS OF PROPOSED PARKING AND DRIVE AREAS. CONSULT WITH GEOTECHNICAL ENGINEER TO DETERMINE REQUIRED SUBGRADE UNDERCUTTING AND REPLACEMENT.

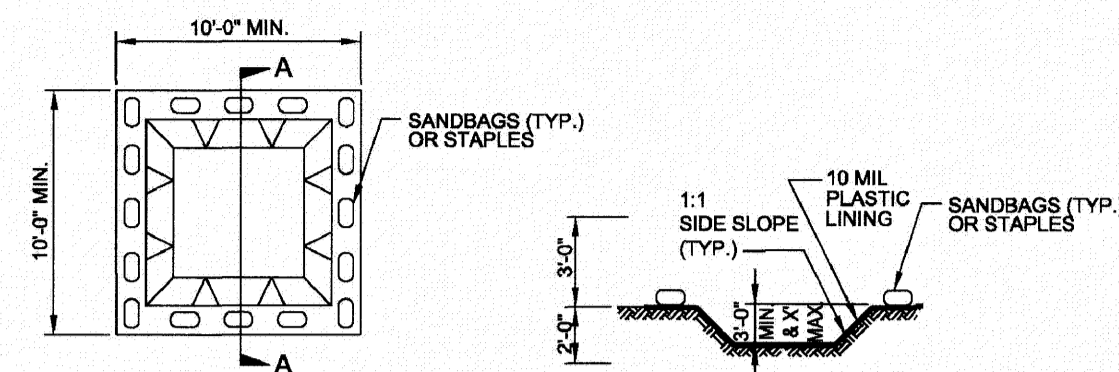
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1 ASPHALT PAVEMENT SECTION

2

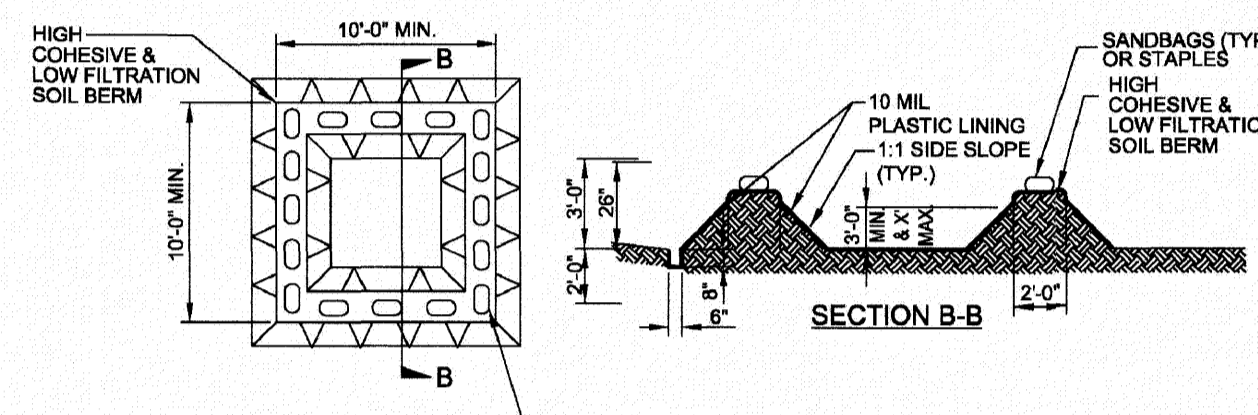
WITH LINER, NO GRAVEL APPROACH

ONSITE CONCRETE WASHOUT STRUCTURE WITH LINER



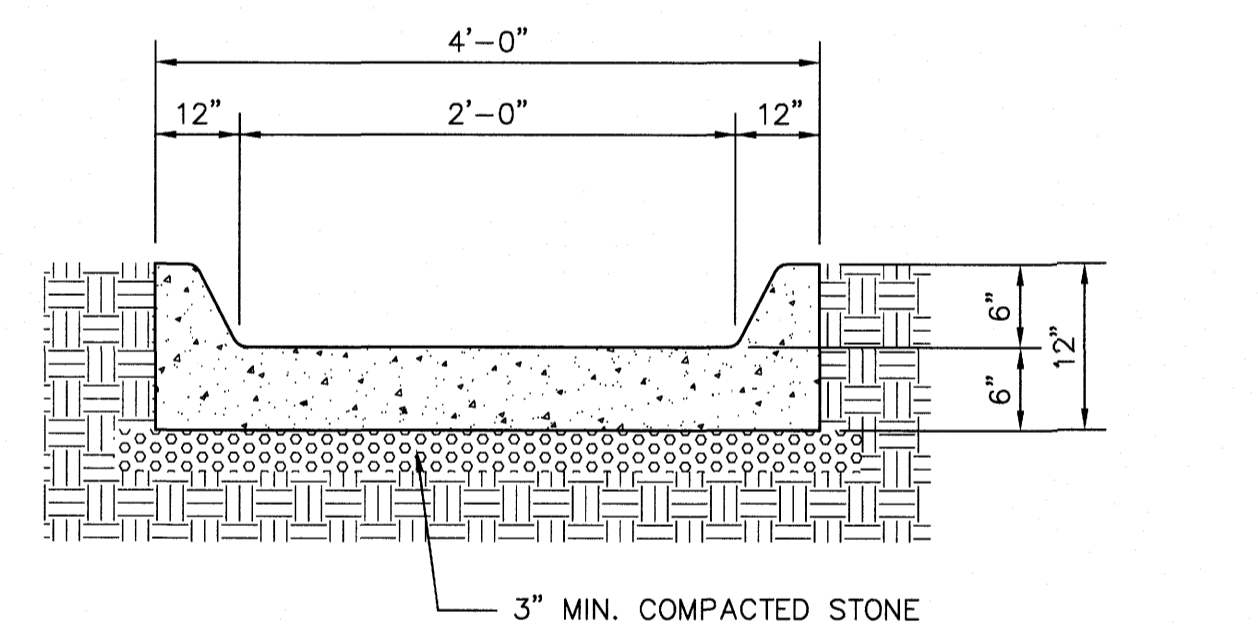
SECTION A-A
 NOTES:
 1. ACTUAL LOCATION DETERMINED IN FIELD
 2. THE CONCRETE WASHOUT STRUCTURES SHALL BE MAINTAINED WHEN THE LIQUID AND/OR SOLID REACHES 75% OF THE STRUCTURES CAPACITY.
 3. CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARLY MARKED WITH SIGNAGE NOTING DEVICE.

BELOW GRADE WASHOUT STRUCTURE
 NOT TO SCALE



SECTION B-B
 NOTES:
 1. ACTUAL LOCATION DETERMINED IN FIELD
 2. THE CONCRETE WASHOUT STRUCTURES SHALL BE MAINTAINED WHEN THE LIQUID AND/OR SOLID REACHES 75% OF THE STRUCTURES CAPACITY TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM 12 INCHES OF FREEBOARD.
 3. CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARLY MARKED WITH SIGNAGE NOTING DEVICE.

ABOVE GRADE WASHOUT STRUCTURE
 NOT TO SCALE

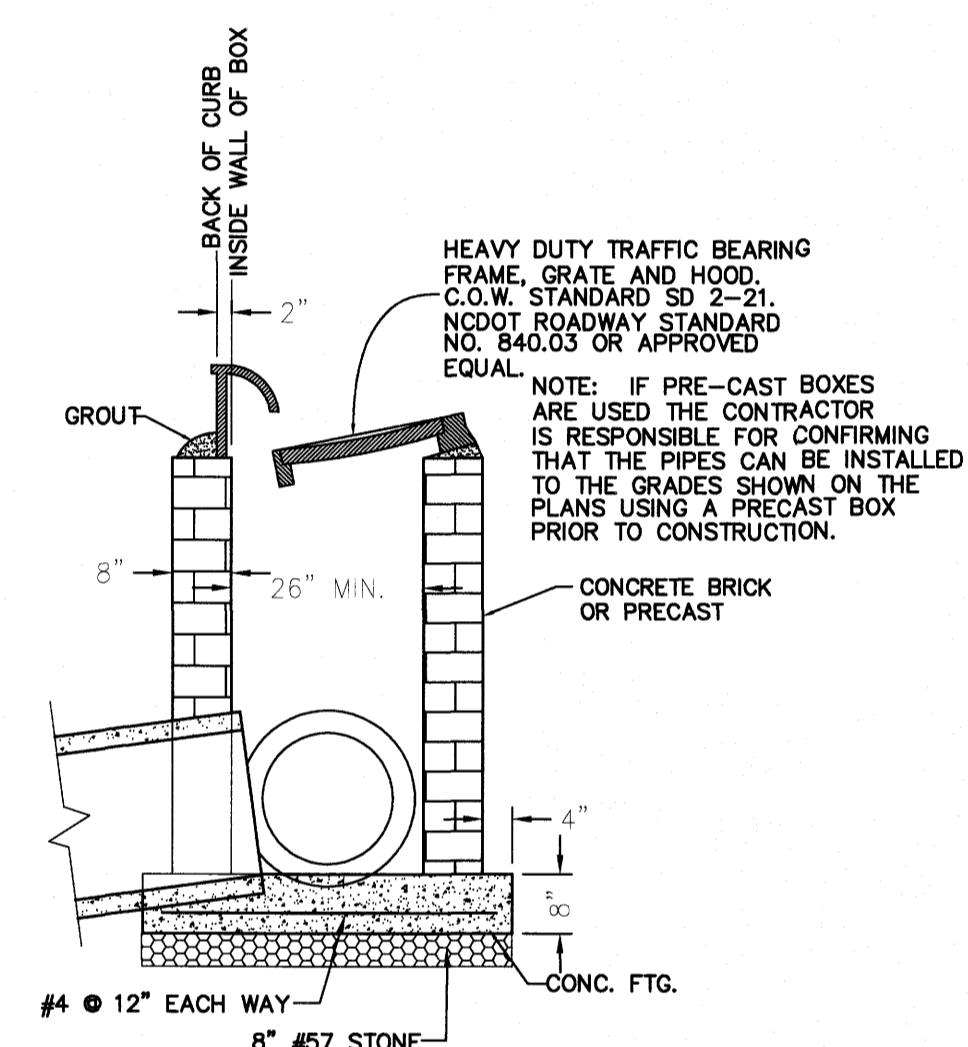


NOT TO SCALE

5 CONCRETE FLUME SECTION

SITE WORK NOTES:

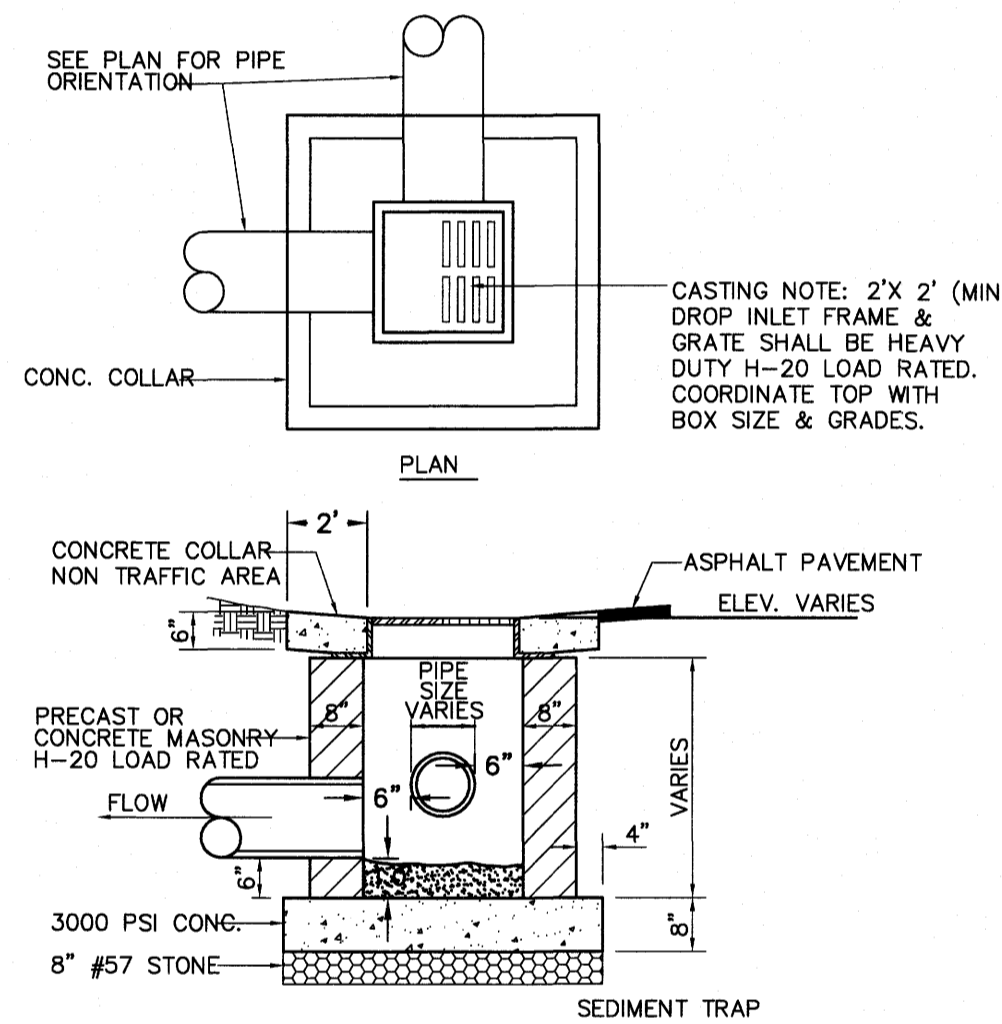
1. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH FIELD CONSTRUCTION CONDITIONS.
2. CONTRACTOR SHALL COORDINATE WORK WITH NCDOT AND LOCAL RIGHT OF WAYS WITH PROPER AUTHORITIES AND SHALL MEET ANY REQUIREMENTS AS TO TRAFFIC CONTROL AND CONNECTION TO EXISTING STREETS.
3. CLEARING AND GRUBBING: REMOVE ALL TREES AS REQUIRED UNLESS OTHERWISE NOTED TO REMAIN, STUMPS, ROOTS, SHRUBBERY, ASPHALT, CONCRETE, STRUCTURES, BURIED UTILITIES, STORAGE TANKS, ETC. WITHIN LIMITS OF CONSTRUCTION.
4. STRIPPING: BEFORE EXCAVATING OR FILLING, REMOVE ALL TOPSOIL, WOOD, LEAVES, AND ANY OTHER UNSUITABLE MATERIAL.
5. MUCKING: REMOVE ANY SOFT, ORGANIC SILT MATERIALS AND EXISTING BURIED CONSTRUCTION DEBRIS AS REQUIRED AND FILL TO SUBGRADE ELEVATIONS WITH A CLEAN SELECT-FILL COMPACTED AS SPECIFIED.
6. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR EXCAVATED SPOIL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES.
7. BORROW MATERIAL: THE CONTRACTOR SHALL FURNISH BORROW MATERIAL REQUIRED FROM OFF SITE AND OBTAIN ALL REQUIRED PERMITS ASSOCIATED WITH BORROW OPERATIONS.
8. FILL AND COMPACTION: AFTER STRIPPING THOSE AREAS DESIGNATED TO RECEIVE FILL SHOULD BE PROOFROLLED. THE TOP 8" OF SUBGRADE SHALL BE COMPACTED TO AT LEAST 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. ANY AREA WHICH PUMPS OR RUNS EXCESSIVELY SHOULD BE UNDERCUT AND REPLACED WITH A CLEAN, SILTY OR CLAYEY SAND HAVING A UNIFIED SOIL CLASSIFICATION OF SP, SM, OR SC. FILL MATERIAL 5" OUTSIDE OF BUILDING AREAS SHALL THEN BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED TO 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. FILL MATERIALS WITHIN BUILDING AREAS TO A LINE OUTSIDE THE BUILDING AREAS SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED IN 6 INCH LAYERS TO 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IN AREAS WHERE NO STRUCTURAL FILL IS TO BE PLACED THE UPPER 12 INCHES OF IN-PLACE SUBGRADE SHOULD BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IF THE MATERIAL IS TOO DRY TO COMPACT TO THE REQUIRED DENSITY EACH LAYER SHALL BE WETTED IN ACCORDANCE WITH COMPACTION REQUIREMENTS. IF THE MATERIAL IS TOO WET TO SECURE PROPER COMPACTION, IT SHALL BE HARROWED REPEATEDLY OR OTHERWISE AERATED WITH SUITABLE EQUIPMENT UNTIL OPTIMUM MOISTURE CONTENT IS OBTAINED. FILL SHALL BE PLACED IN SUCH A MANNER THAT THE SURFACE WILL DRAIN READILY AT ALL TIMES. SEE STRUCTURAL NOTES AND SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
9. LAYOUT: THE CONTRACTOR SHALL PROVIDE ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION.
11. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION FROM SURVEY MICHAEL UNDERWOOD AND ASSOCIATES, P.A.
12. THE CONTRACTOR SHALL VERIFY DIMENSIONS AT JOBSITE.
13. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF RELOCATION OR DISCONNECTION OF ALL EXISTING UTILITIES WITH APPLICABLE AGENCIES AND AUTHORITIES.
14. ALL PAVEMENT AND BASE MATERIALS AND WORKMANSHIP SHALL CONFORM TO NCDOT STANDARDS.
15. WATER AND SEWER SERVICES SHALL BE INSTALLED TO MEET LOCAL AND STATE PLUMBING CODES. METER AND TAPS SHALL MEET ALL LOCAL REQUIREMENTS.
16. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE.
17. SEE SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
18. CONTRACTOR SHALL NOTE THAT EARTHWORK QUANTITIES ARE HIS RESPONSIBILITY. PLANS DO NOT REPRESENT A BALANCED EARTHWORK CONDITION.
19. REINF. CONC. PIPE SHALL BE CLASS III W/RUBBER GASKETED JOINT OR "RAM NECK". INSTALL PER MANUFACTURER'S REQUIREMENTS.
20. USE WHITE LANE MARKING PAINT FOR ALL PAVEMENT MARKINGS. PAINT SHALL BE A CHLORINATED RUBBER ALKYO, FS TT-P-115, TYPE III, FACTORY MIXED, QUICK DRYING, NON-BLEEDING.
21. REFER TO THE PLUMBING DRAWINGS FOR LOCATION AND INVERTS OF NEW WASTE, WATER AND ROOF DRAIN LINES.



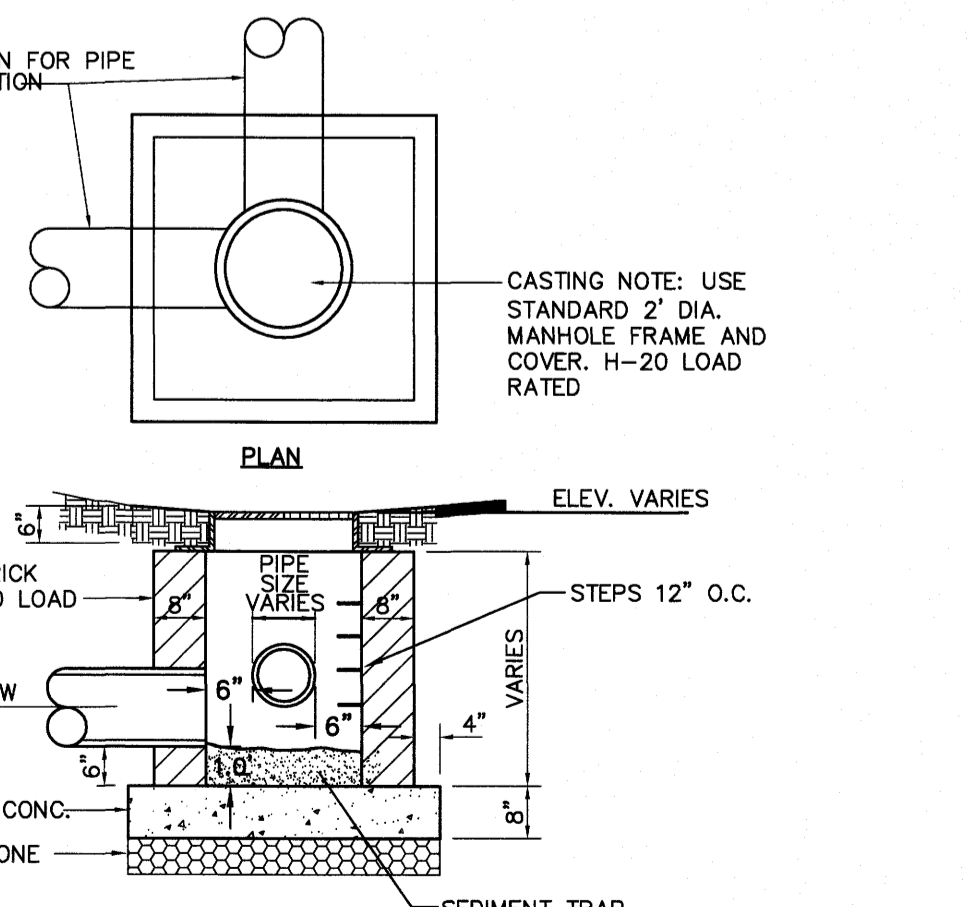
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3 TYPICAL CATCH BASIN

4 TYPICAL DROP INLET



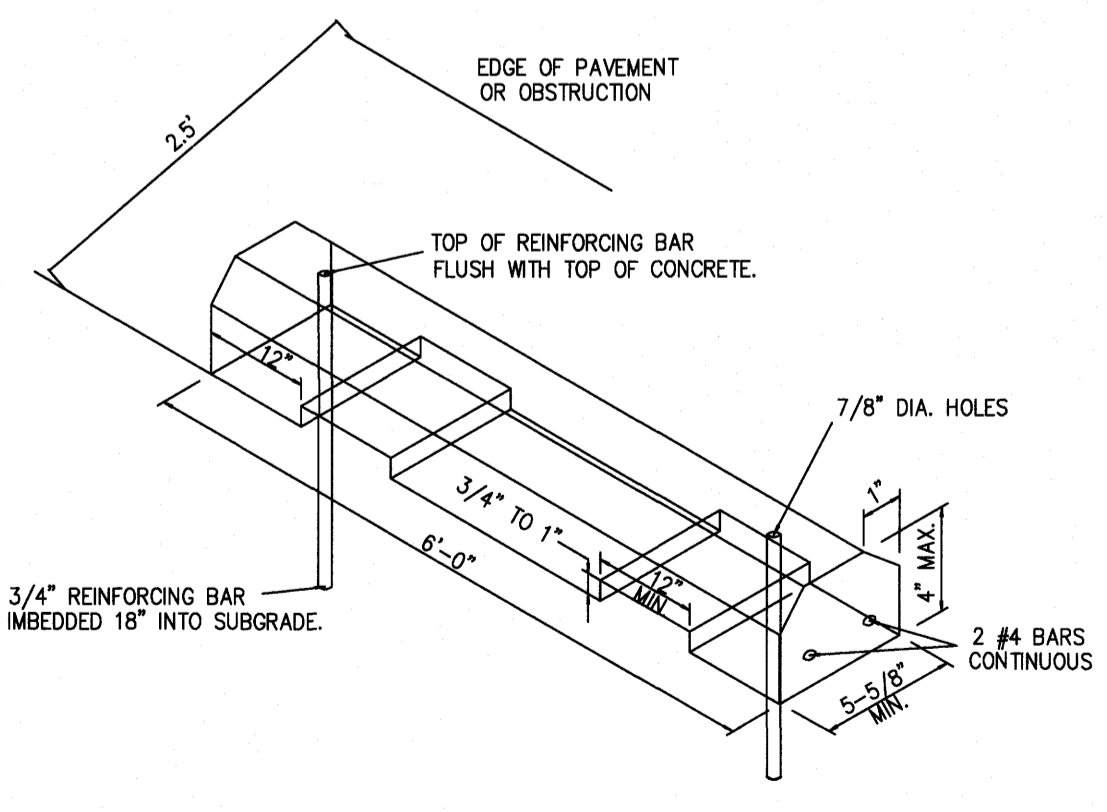
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6 TYPICAL JUNCTION BOX

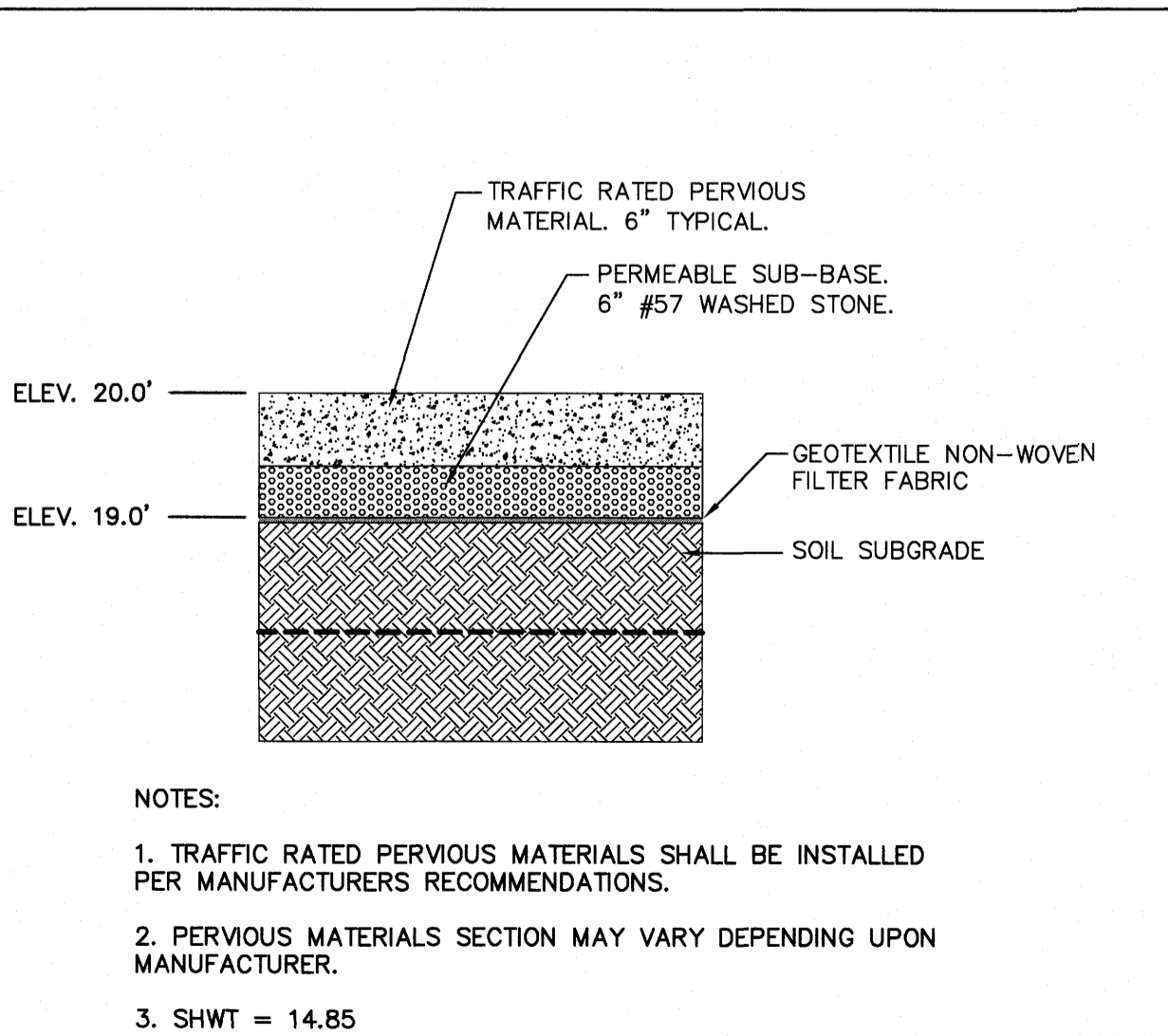
7 CONCRETE WHEEL STOPS



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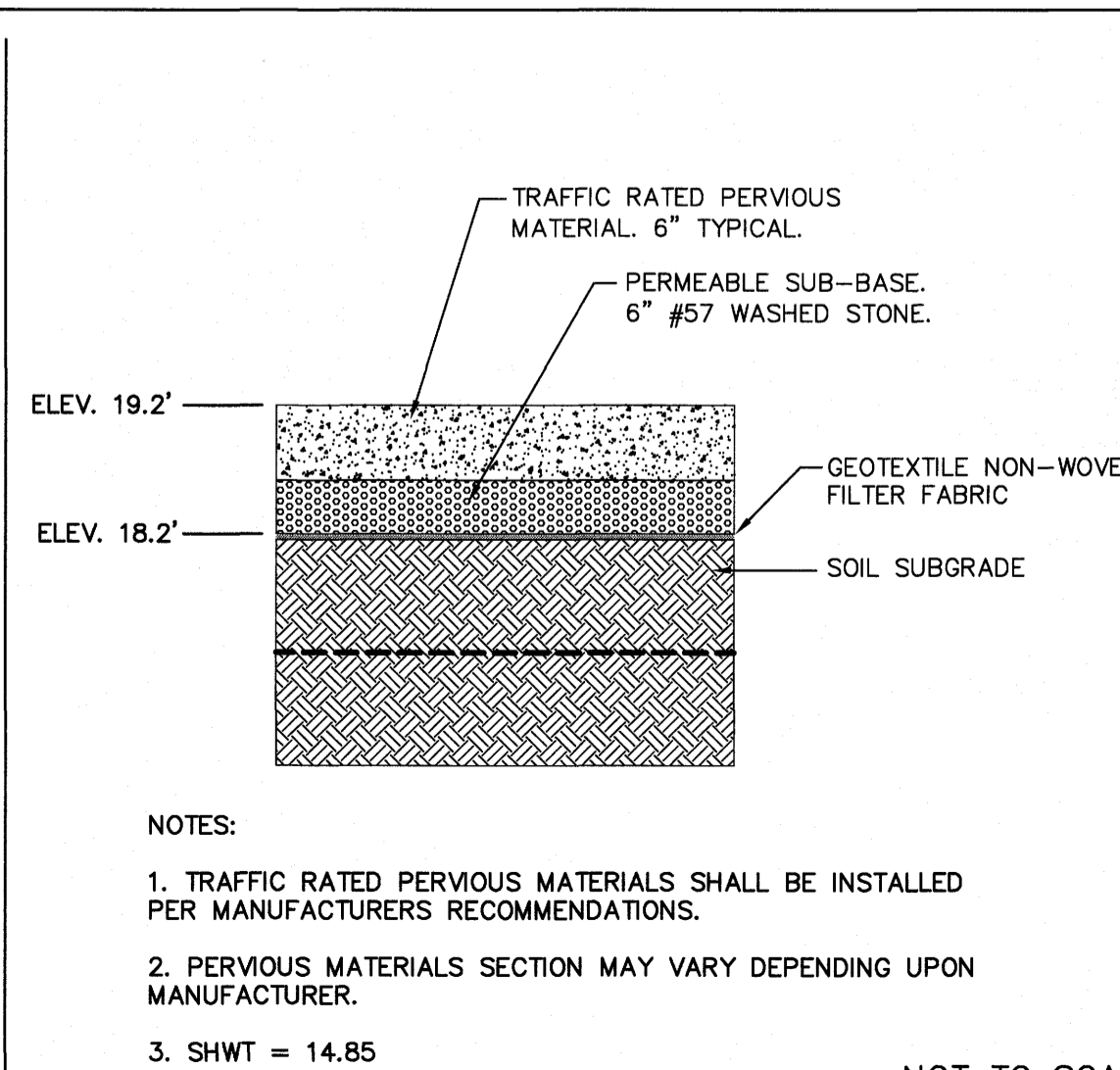
8 PERVIOUS PAVEMENT SECTION PC-1

9 PERVIOUS PAVEMENT SECTION PC-2



NOTES:
 1. TRAFFIC RATED PERVIOUS MATERIALS SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
 2. PERVIOUS MATERIALS SECTION MAY VARY DEPENDING UPON MANUFACTURER.
 3. SHWT = 14.85

NOT TO SCALE



NOTES:
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 2. PERVIOUS MATERIALS SECTION MAY VARY DEPENDING UPON MANUFACTURER.
 3. SHWT = 14.85

NOT TO SCALE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____
 Approved Construction Plan
 Name _____ Date _____

Planning _____
 Traffic _____
 Fire _____

NODENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

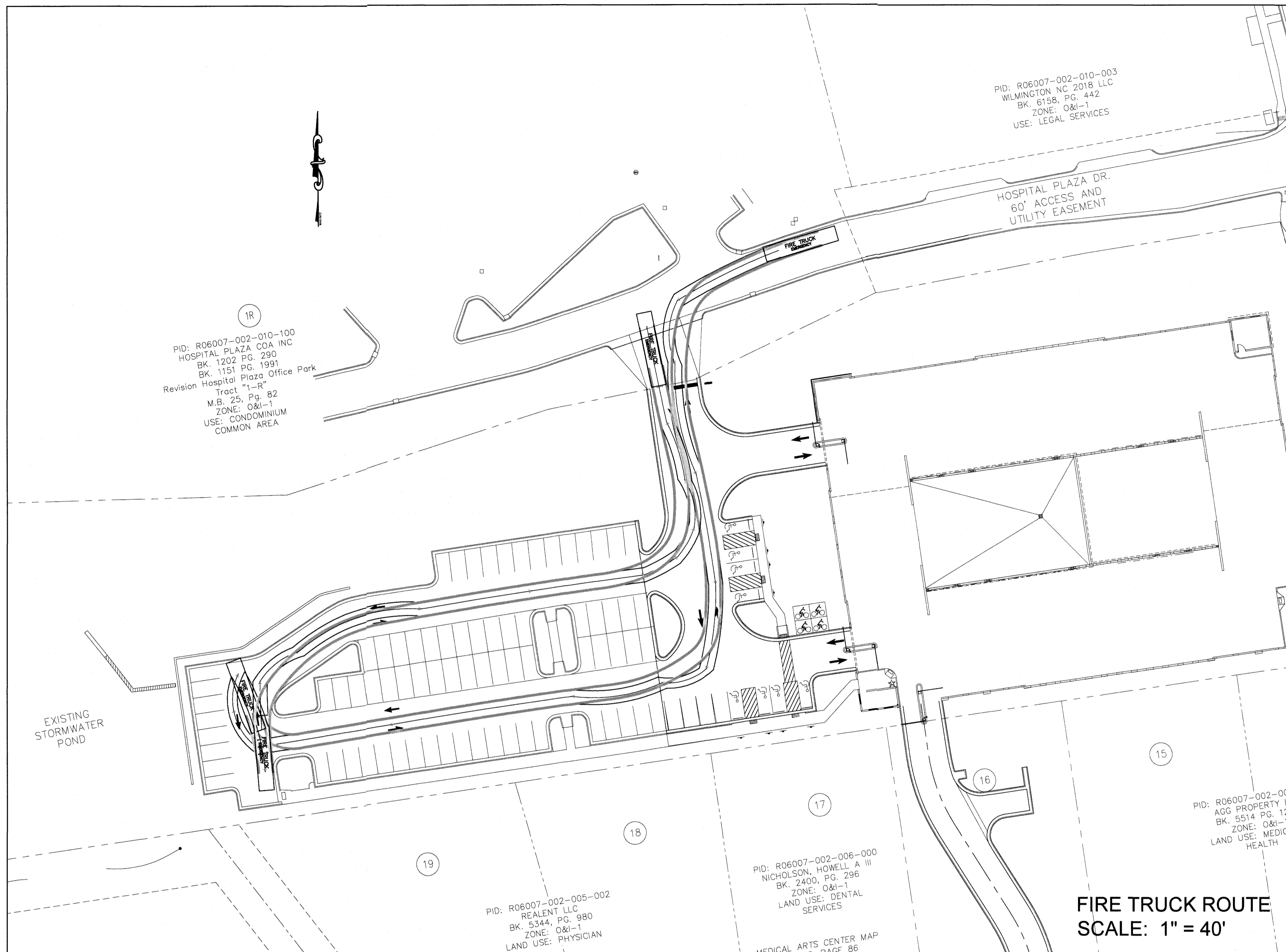
NOTES AND DETAILS
 NHRMC EMPLOYEE PARKING DECK
 WITH PEDESTRIAN BRIDGE
 2026 S. 16TH STREET WILMINGTON, N. C.

OWNER/DEVELOPER
 NHRMC
 P.O. BOX 9000
 WILMINGTON, NC 28402
 910 343-2788

NORRIS & TUNSTALL
 CONSULTING ENGINEERS P.C.
 3602 IRON GATE DR., SUITE 102 1429 ASH-LITTLE RIVER RD. NW
 WASHINGTON, NC 28405 WASHINGTON, NC 28405
 PHONE (910) 343-9625 PHONE (910) 287-5960

Licence #C-3641
19135
 DES. JST
 Ckd. JPN
 DRWN. NKS
 DATE 4/8/20

C5.3



FOR PERMIT ONLY
NOT FOR CONSTRUCTION

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan	
Name	Date
Planning	_____
Traffic	_____
Fire	_____

NODENR PWSS WATER PERMIT #: _____

WATER CAPACITY: _____ GPD

DWQ SEWER PERMIT #: _____

SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT: _____

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

FIRE TRUCK ROUTE
NHRMC EMPLOYEE PARKING DECK
WITH PEDESTRIAN BRIDGE
2026 S. 16TH STREET WILMINGTON, N. C.

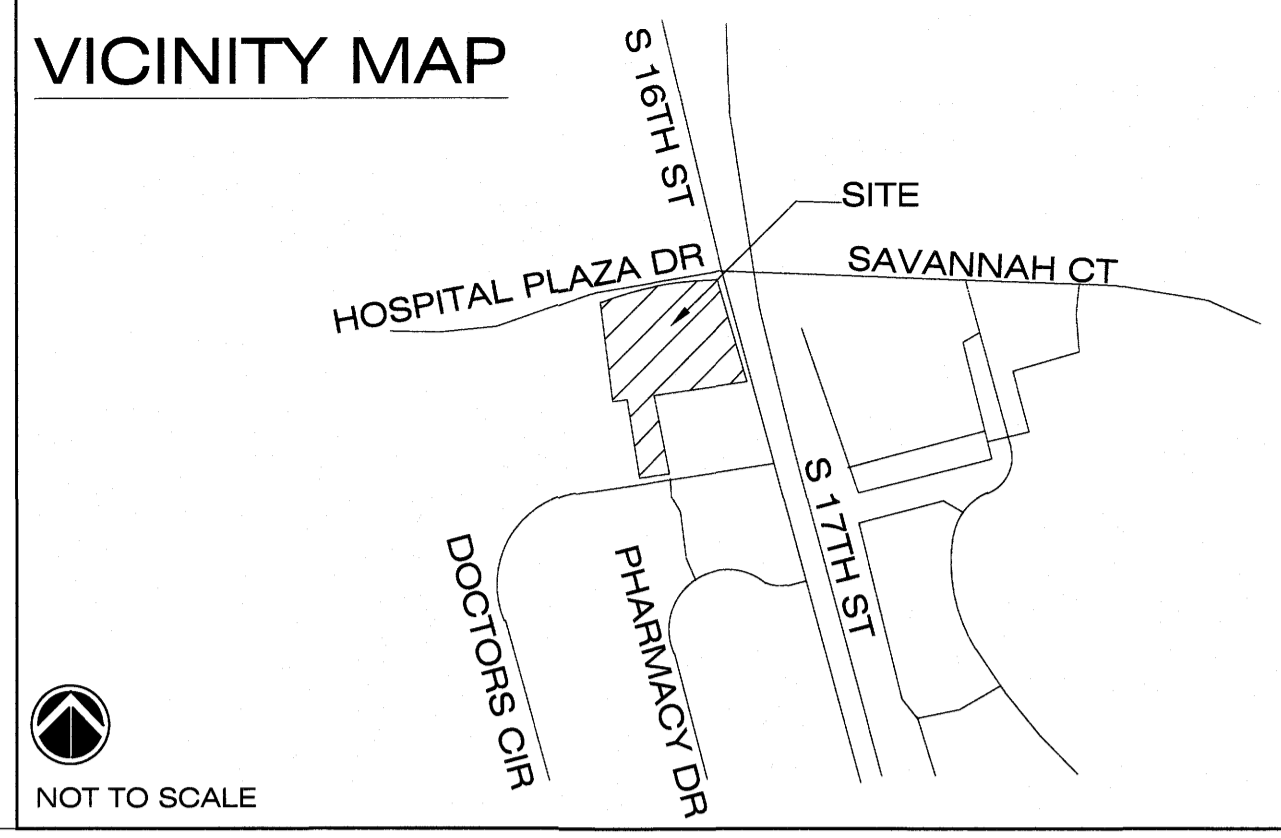
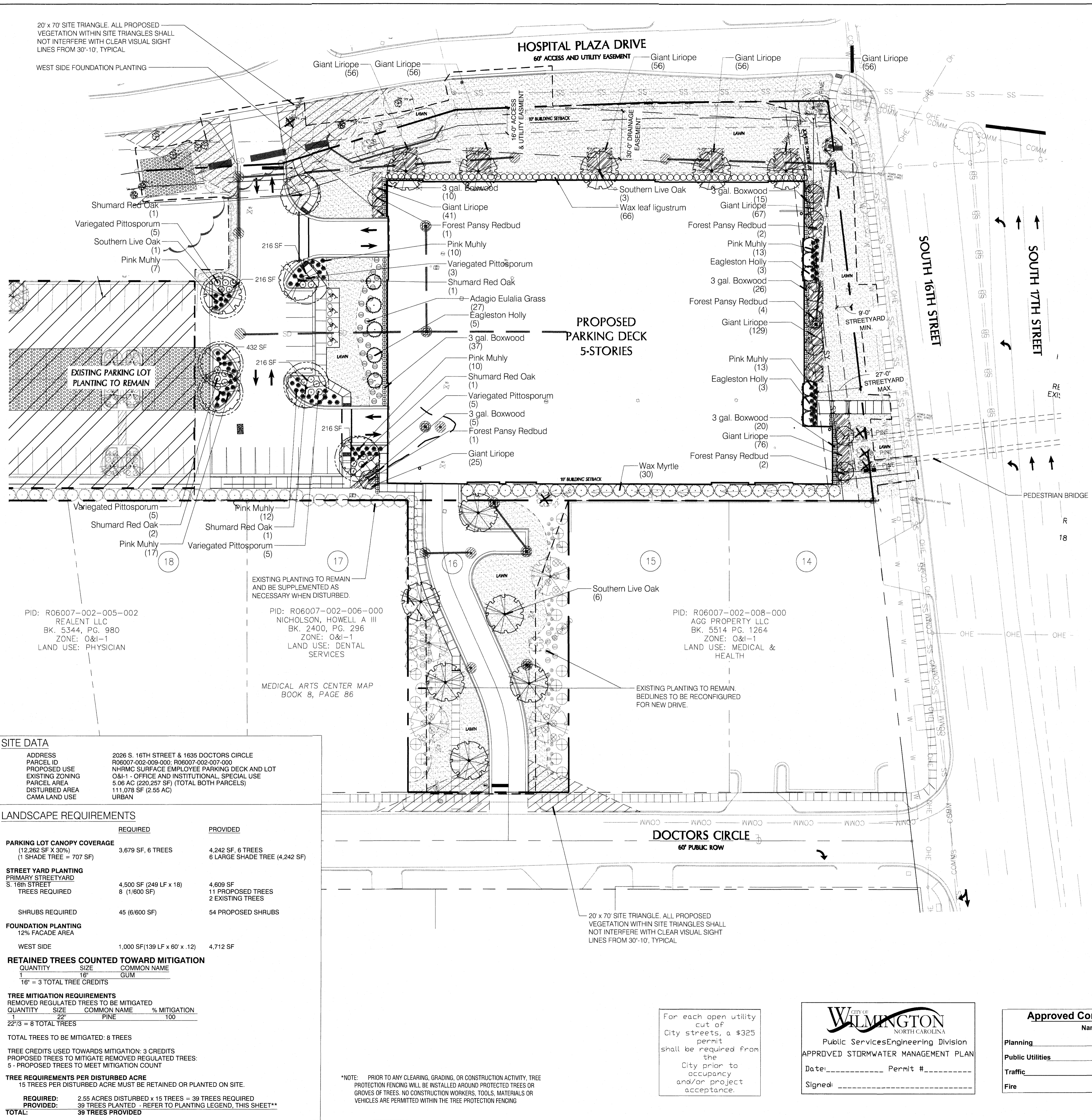
OWNER/DEVELOPER
NHRMC
P.O. BOX 9000
WILMINGTON, NC 28402
910 343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS P.C.
2602 IRON GATE DR., SUITE 102 1429 ASH-LITTLE RIVER RD, NW
ATLANTA, GA 30343
PHONE (910) 343-9625 PHONE (770) 287-5900

Licence #C-3641
19135
DES. JST
CHK. JPN
DRWL. NKS
DATE 03/18/20

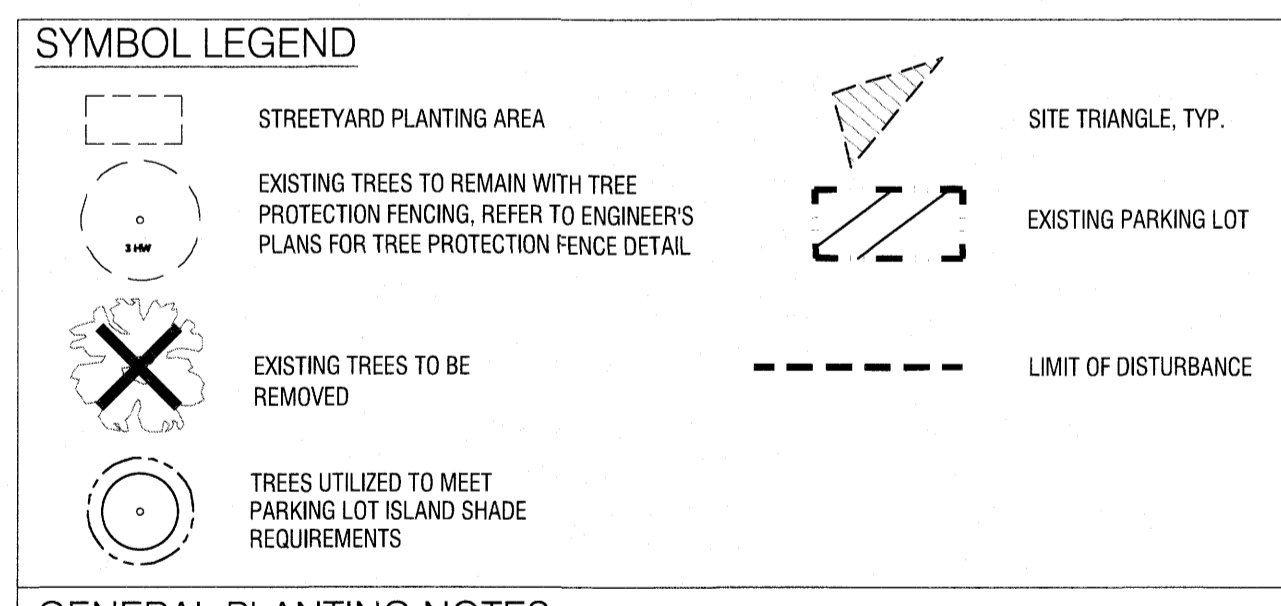
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PRELIMINARY

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PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	RANGE	MIN. REQ. SIZE	QTY
	Cercis c. 'Forest Pansy' / Forest Pansy Redbud	B & B	3" CAL		2-2.5' CAL	10
	Ilex x.a. 'Eagleston' / Eagleston Holly	B&B	3" CAL		2-2.5' CAL	11
	Quercus shumardii / Shumard Red Oak	B & B	3" CAL		2-2.5' CAL	6
	Quercus virginiana / Southern Live Oak	B & B	3" CAL		2-2.5' CAL	12
SHRUBS	BOTANICAL / COMMON NAME	SIZE	RANGE	MIN. REQ. SIZE	QTY	
	Buxus m. 'Wintergreen' / 3 gal. Boxwood	3 gal	12-18" HT	12" HT	115	
	Ligustrum j. 'Recurvifolium' / Wax leaf ligustrum	7 gal	30-36" HT	12" HT	66	
	Miscanthus s. 'Adagio' / Adagio Eulalia Grass	3 gal	18-24" HT	12" HT	27	
	Muhlenbergia capillaris / Pink Muhly	3 gal	18-24" HT	12" HT	86	
	Myrica cerifera / Wax Myrtle	25 gal	5-6" HT	12" HT	30	
	Pittosporum t. 'Variegata' / Variegated Pittosporum	3 gal	18-24" HT	12" HT	23	
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	RANGE	SPACING	QTY	
	Liriope gigantea / Giant Liriope	1 GAL	12-18" HT	24" o.c.	618	
SOD/SEED	BOTANICAL / COMMON NAME	SIZE	RANGE	SPACING	QTY	
	Cynodon dactylon / Bermuda Grass	sod				



- ### GENERAL PLANTING NOTES
- THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
 - QUANTITIES SHOWN IN PLANT LISTS ARE FOR CONVENIENCE ONLY. PLANS SHALL GOVERN.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANT LOCATIONS OR INSUFFICIENT PLANT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
 - ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT WILL NOT BE ALLOWED.
 - ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
 - TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREE PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS.
 - TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD. WHENEVER FEASIBLE, TREES SHOULD BE PLANTED AT A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE LANDSCAPE ARCHITECT FOR DECISION ON PLACEMENT.
 - ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 2" MIN. THK. MULCH AT BASE OF TRUNK.
 - GROUNDCOVER TYPE SHOWN SHALL BE PLANTED IN ALL SHRUB AREAS AS SPECIFIED ON PLANS. GROUNDCOVER SHALL BE PLANTED AT 8" ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.
 - MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.
 - ALL PLANTING AREAS SHALL BE MULCHED WITH PINESTRAW, EXCEPT FOR AREAS PLANTED WITH GROUNDCOVER. ALL AREAS PLANTED WITH GROUNDCOVER SHALL BE MULCHED WITH HARDWOOD MULCH.

SITE DATA

ADDRESS	2026 S. 16TH STREET & 1635 DOCTORS CIRCLE
PARCEL ID	R06007-002-005-000, R06007-002-007-000
PROPOSED USE	NHRMC SURFACE EMPLOYEE PARKING DECK AND LOT
EXISTING ZONING	O&I-1 - OFFICE AND INSTITUTIONAL, SPECIAL USE
PARCEL AREA	5.06 AC (220,257 SF) (TOTAL BOTH PARCELS)
DISTURBED AREA	111,078 SF (2.55 AC)
CAMA LAND USE	URBAN

LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED
PARKING LOT CANOPY COVERAGE (12,262 SF X 30%) (1 SHADE TREE = 707 SF)	3,679 SF, 6 TREES	4,242 SF, 6 TREES 6 LARGE SHADE TREE (4,242 SF)
STREET YARD PLANTING PRIMARY STREETYARD S. 16th STREET TREES REQUIRED	4,500 SF (249 LF x 18) 8 (1/600 SF)	4,609 SF 11 PROPOSED TREES 2 EXISTING TREES
SHRUBS REQUIRED	45 (6/600 SF)	54 PROPOSED SHRUBS
FOUNDATION PLANTING 12% FACADE PLANTING		
WEST SIDE	1,000 SF (139 LF x 60' x 12)	4,712 SF
RETAINED TREES COUNTED TOWARD MITIGATION		
QUANTITY	SIZE	COMMON NAME
1	16"	GUM
16" = 3 TOTAL TREE CREDITS		
TREE MITIGATION REQUIREMENTS		
REMOVED REGULATED TREES TO BE MITIGATED		
QUANTITY	SIZE	COMMON NAME
22	22"	PINE
22	22"	PINE
22/3 = 8 TOTAL TREES		
TOTAL TREES TO BE MITIGATED: 8 TREES		
TREE CREDITS USED TOWARDS MITIGATION: 3 CREDITS		
PROPOSED TREES TO MITIGATE REMOVED REGULATED TREES: 5 - PROPOSED TREES TO MEET MITIGATION COUNT		
TREE REQUIREMENTS PER DISTURBED ACRE 15 TREES PER DISTURBED ACRE MUST BE RETAINED OR PLANTED ON SITE.		
REQUIRED:	2.55 ACRES DISTURBED x 15 TREES = 39 TREES REQUIRED	
PROVIDED:	39 TREES PLANTED - REFER TO PLANTING LEGEND, THIS SHEET**	
TOTAL:	39 TREES PROVIDED	

20' x 70' SITE TRIANGLE. ALL PROPOSED VEGETATION WITHIN SITE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10', TYPICAL.

WEST SIDE FOUNDATION PLANTING

EXISTING PLANTING TO REMAIN AND BE SUPPLEMENTED AS NECESSARY WHEN DISTURBED.

EXISTING PLANTING TO REMAIN. BEDLINES TO BE RECONFIGURED FOR NEW DRIVE.

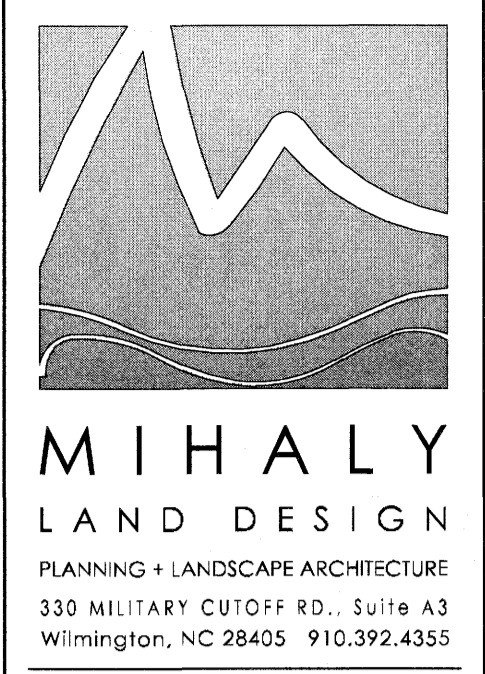
NOTE: PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON
NORTH CAROLINA
Public Services/Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	



Revisions
2020-04-03: UPDATE PER ENGINEERS REVISION
2020-04-13: UPDATE PER ENGINEERS REVISED BASE
2020-05-01: REVISE PER COV COMMENTS

CLIENT
NHRMC
P.O. BOX 9000
WILMINGTON, NC 28402
(910) 343-2788

PROJECT
NHRMC EMPLOYEE PARKING DECK
2026 S. 16TH STREET
WILMINGTON, NC
LANDSCAPE PLANS

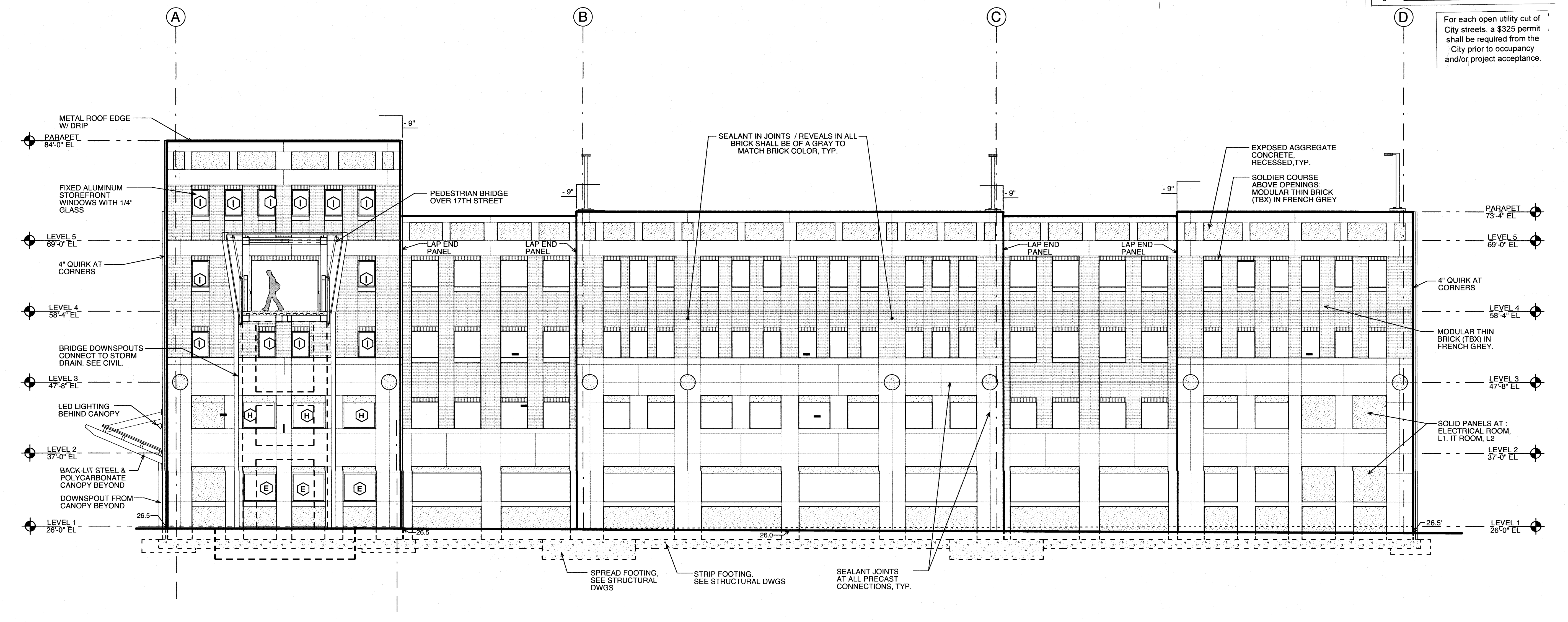
CONSTRUCTION SET

Date: 03/17/2020
Phase:
Job Number: 680-19
Designed by: MLD
Drawn by: MAS
Checked by: JWM

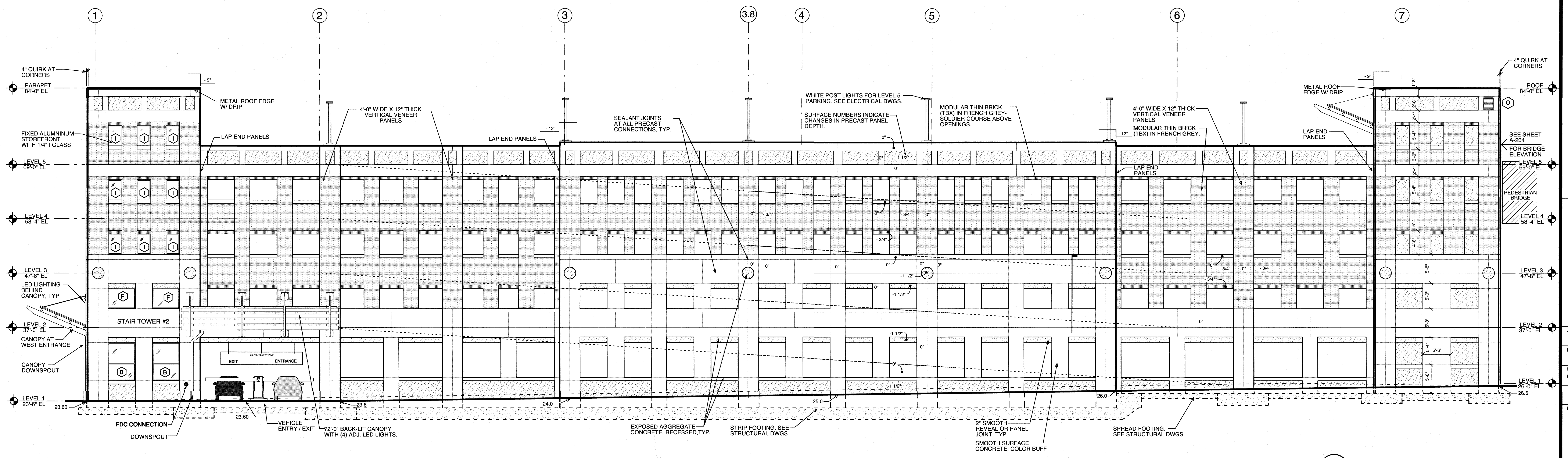
Sheet Title: PLANTING PLAN

Sheet Number:
L1.0
of 1 sheets

19135



2 EAST ELEVATION
 A-200 scale: 1/8" = 1'-0"

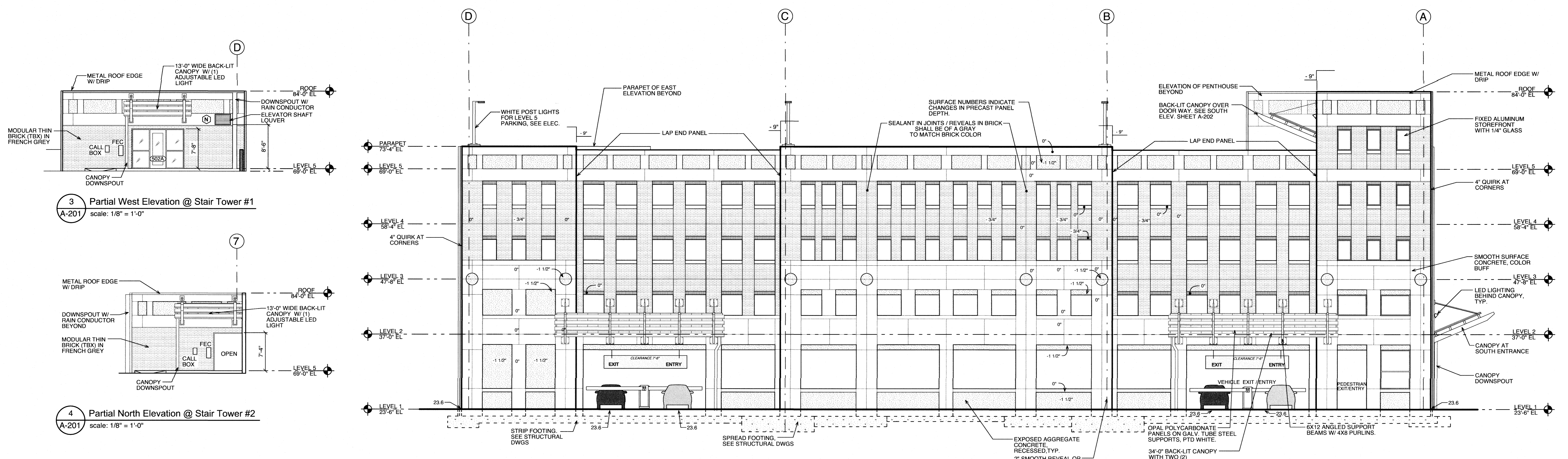


1 SOUTH ELEVATION
 A-200 scale: 1/8" = 1'-0"

New Hanover Regional Medical Center
Five Level Parking Structure
 Wilmington, North Carolina 28401

SOUTH AND EAST ELEVATIONS

JOB NUMBER	
DRAWN BY	DP
CHECKED BY	BOWMAN
DATE	
REVISIONS	
SHEET NUMBER	



2 WEST ELEVATION
 A-201 scale: 1/8" = 1'-0"

Approved Construction Plan

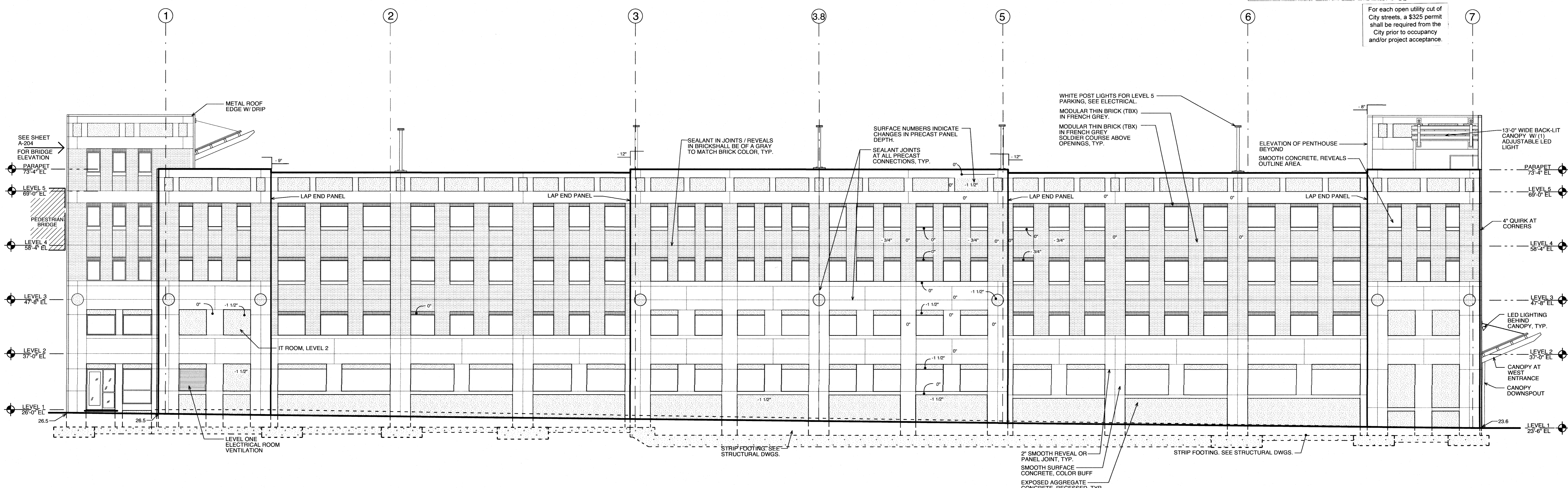
Name: _____ Date: _____

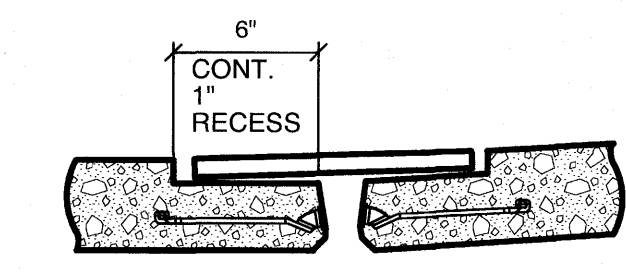
Planning: _____
 Traffic: _____
 Fire: _____

City of **WILMINGTON** NORTH CAROLINA
 Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

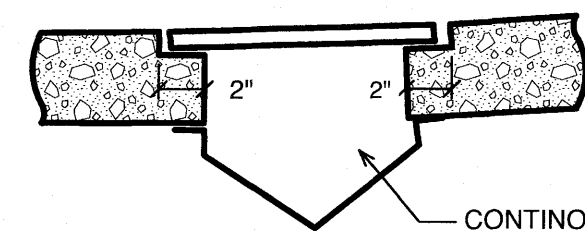
Date: _____ Permit #: _____
 Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

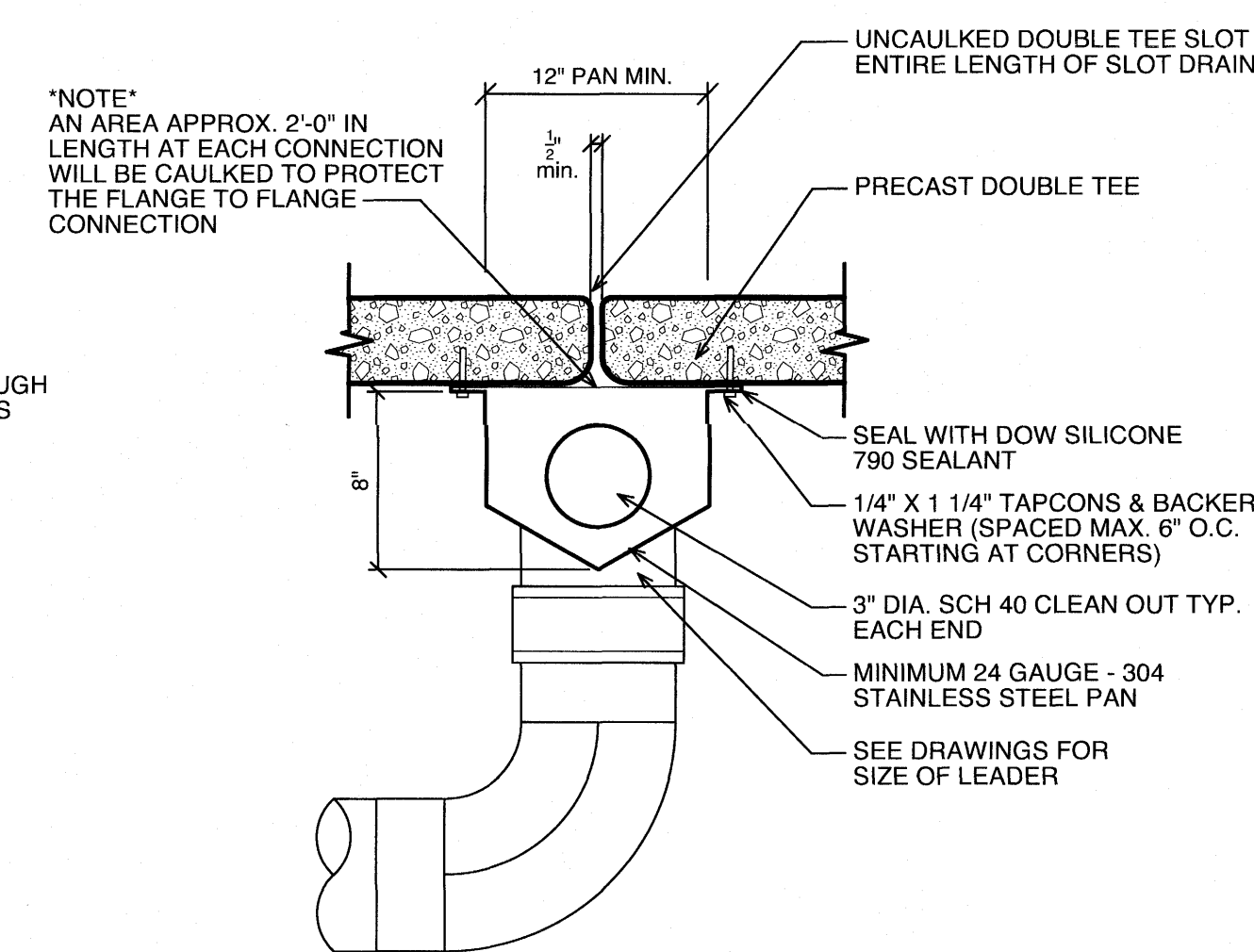




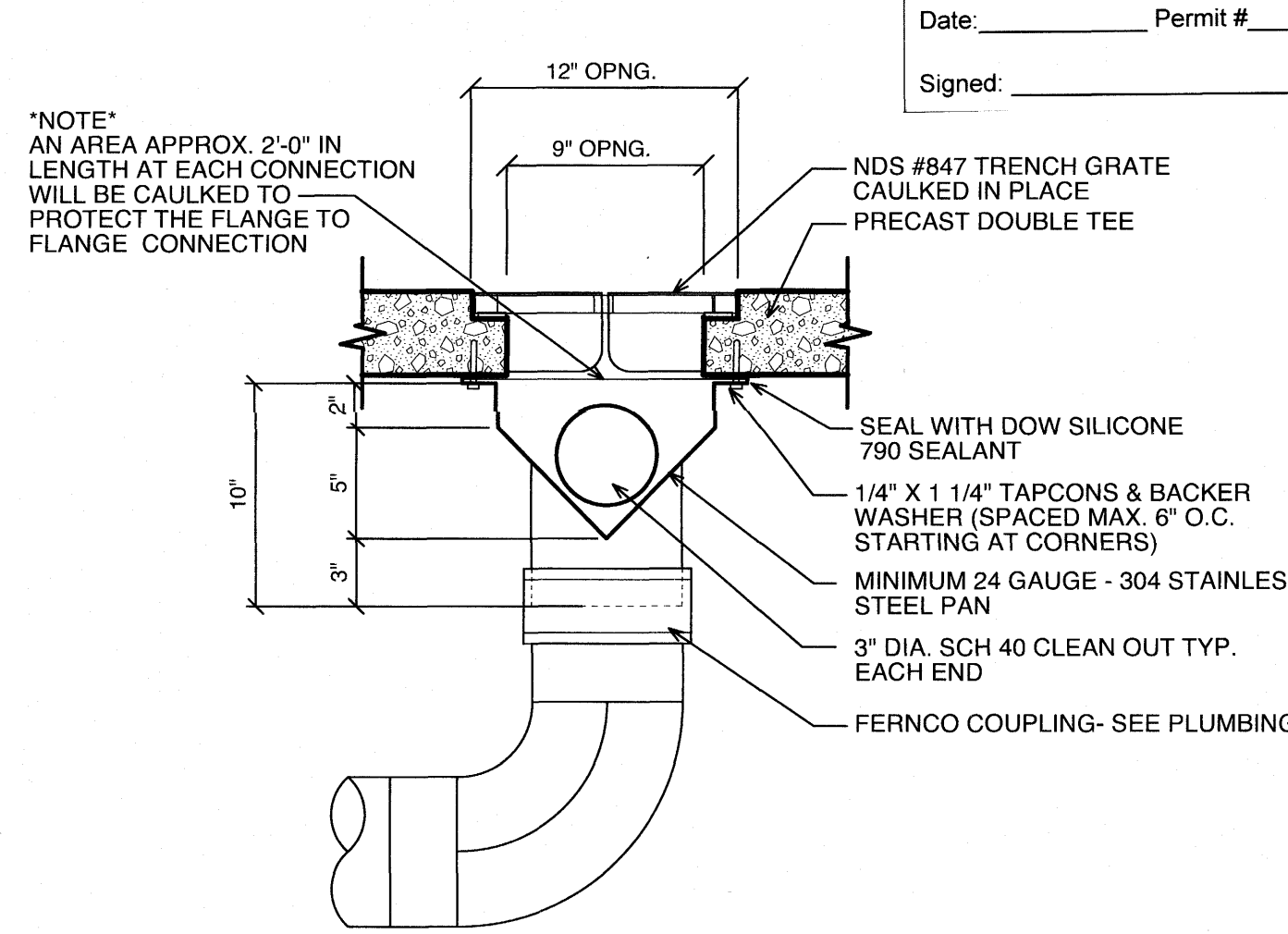
8 Trench Detail Between Connections
 A-300 scale: 1-1/2" = 1'-0"



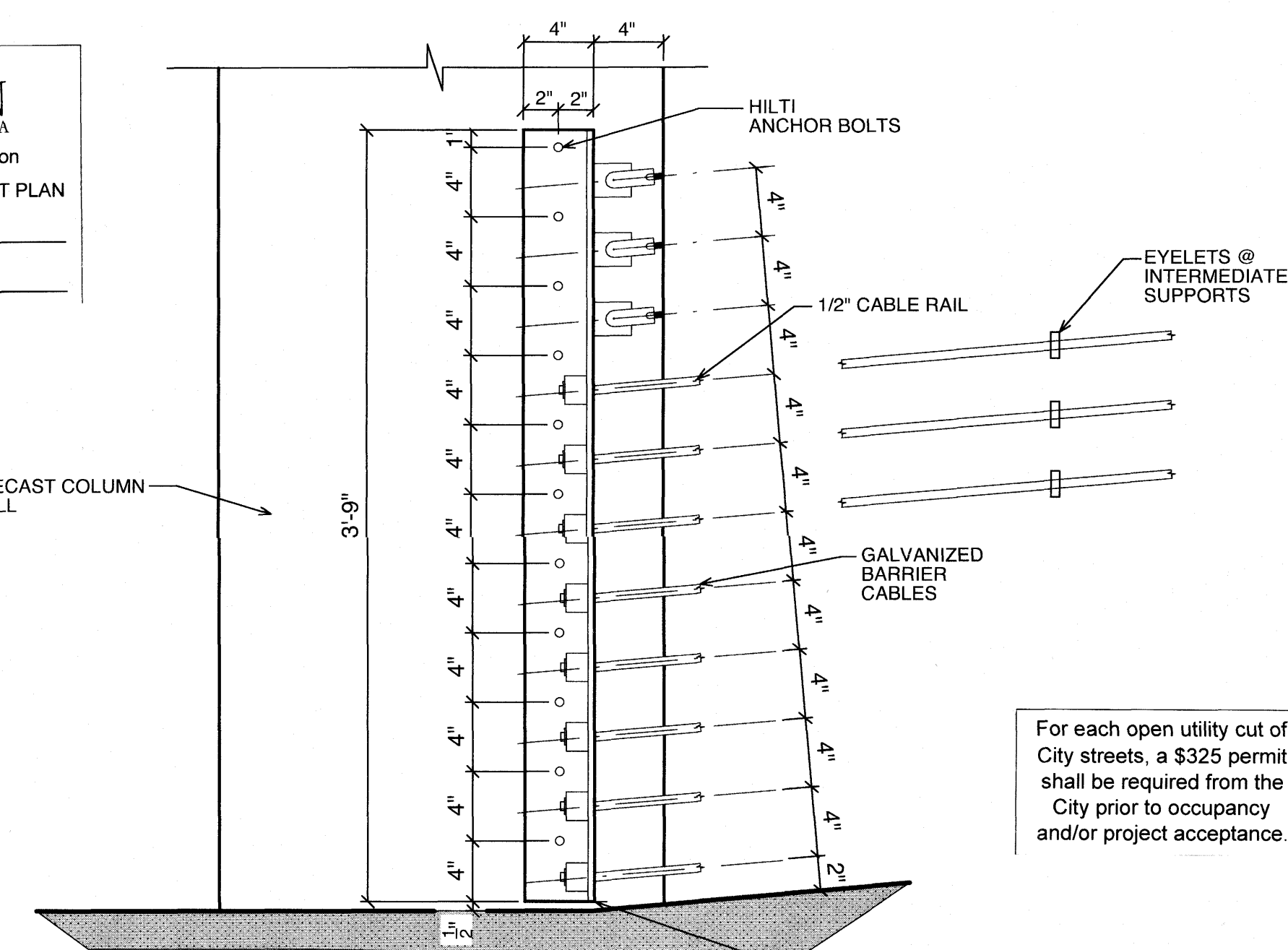
7 Trench Detail at Connection
 A-300 scale: 1-1/2" = 1'-0"



6 Slot Drain Details
 A-300 scale: 1-1/2" = 1'-0"



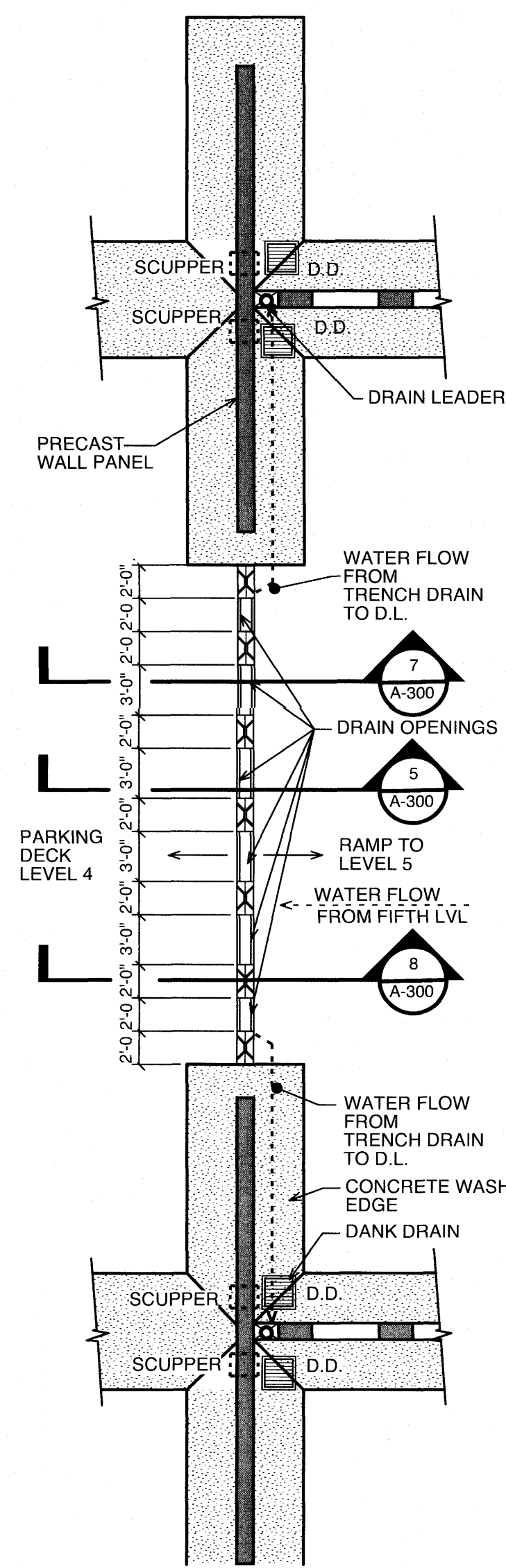
5 Typical Trench Drain Details
 A-300 scale: 1-1/2" = 1'-0"



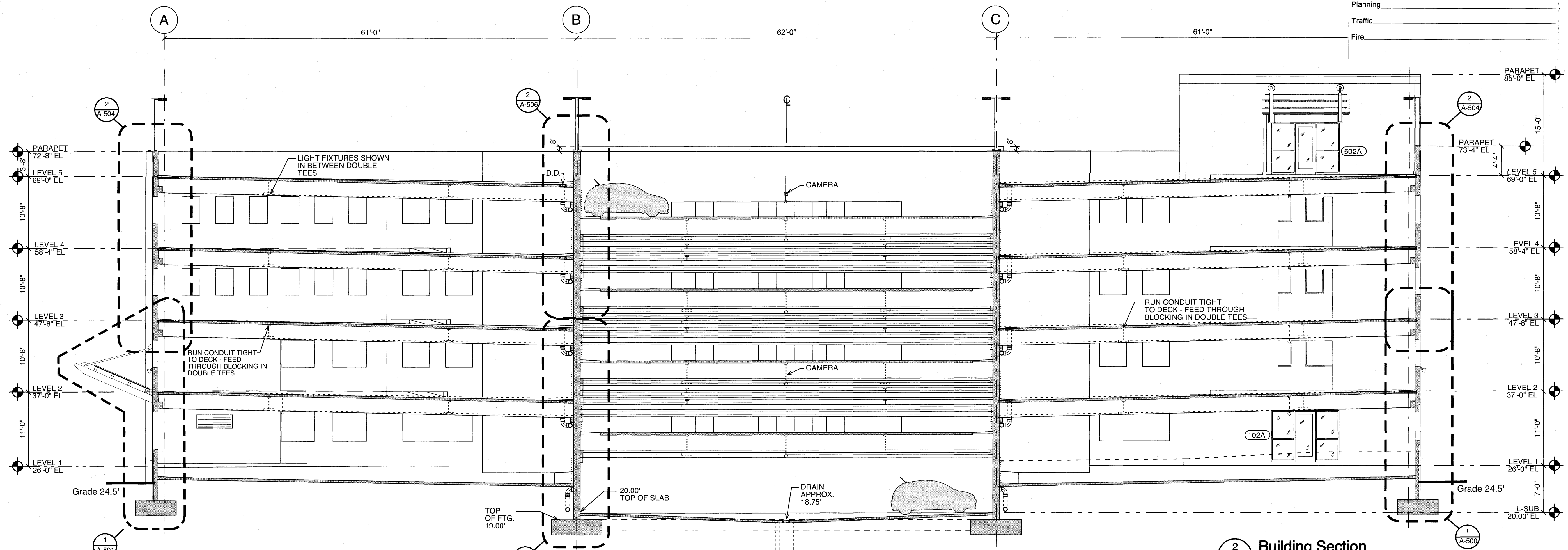
4 Typical Barrier Cable Detail
 A-300 scale: 1-1/2" = 1'-0"

Approved Construction Plan

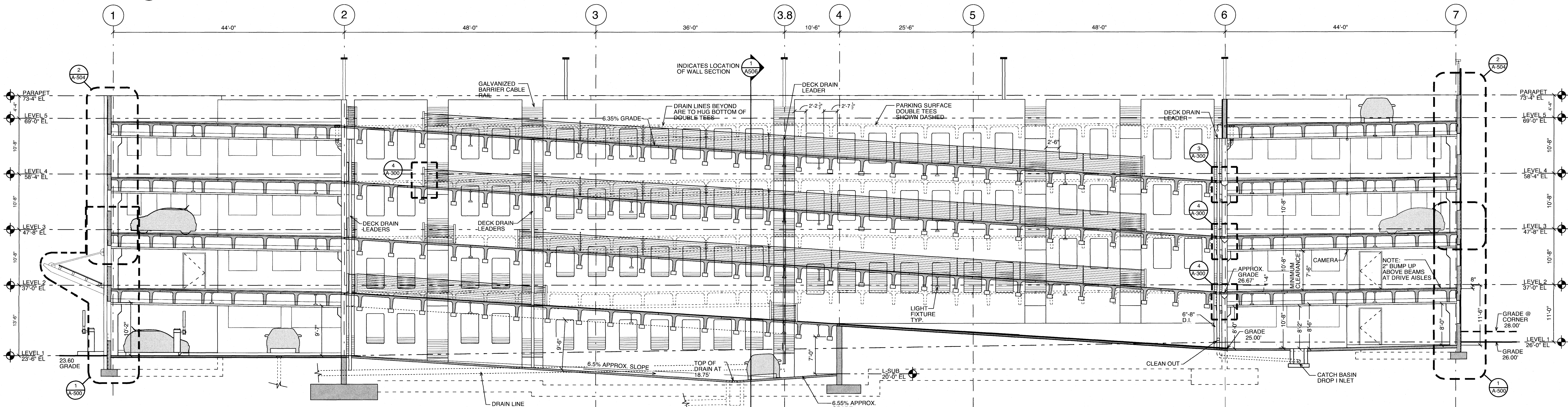
Name	Date
Planning	
Traffic	
Fire	



3 Trench Drain Enlarged Plan
 A-300 scale: 1/8" = 1'-0"



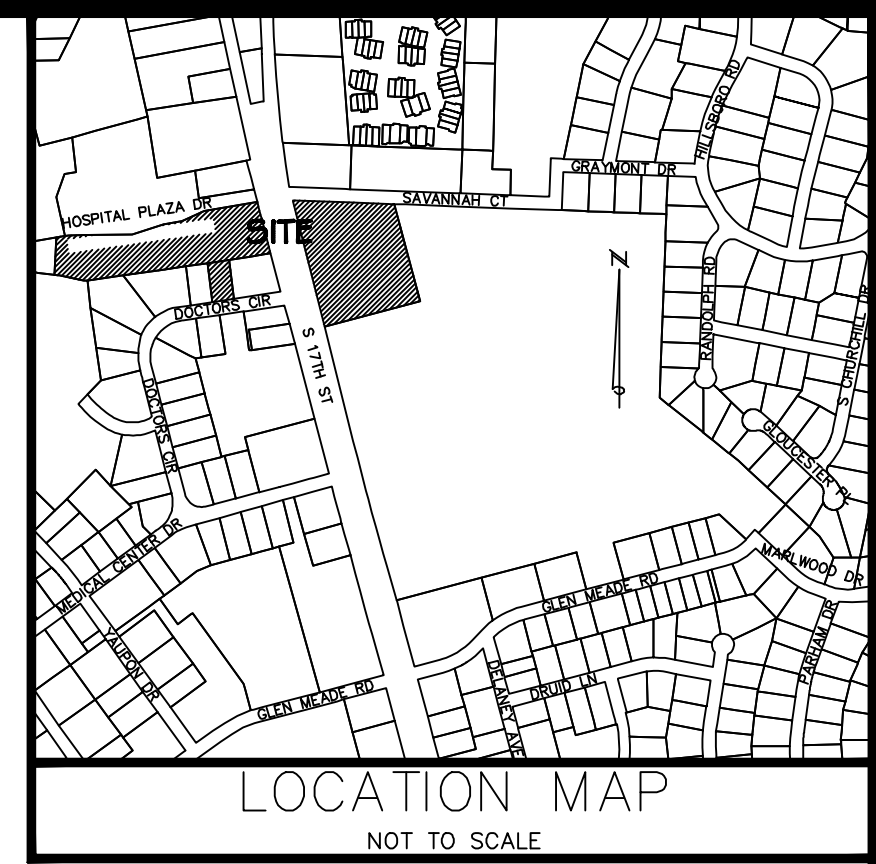
2 Building Section
 A-300 scale: 1/8" = 1'-0"



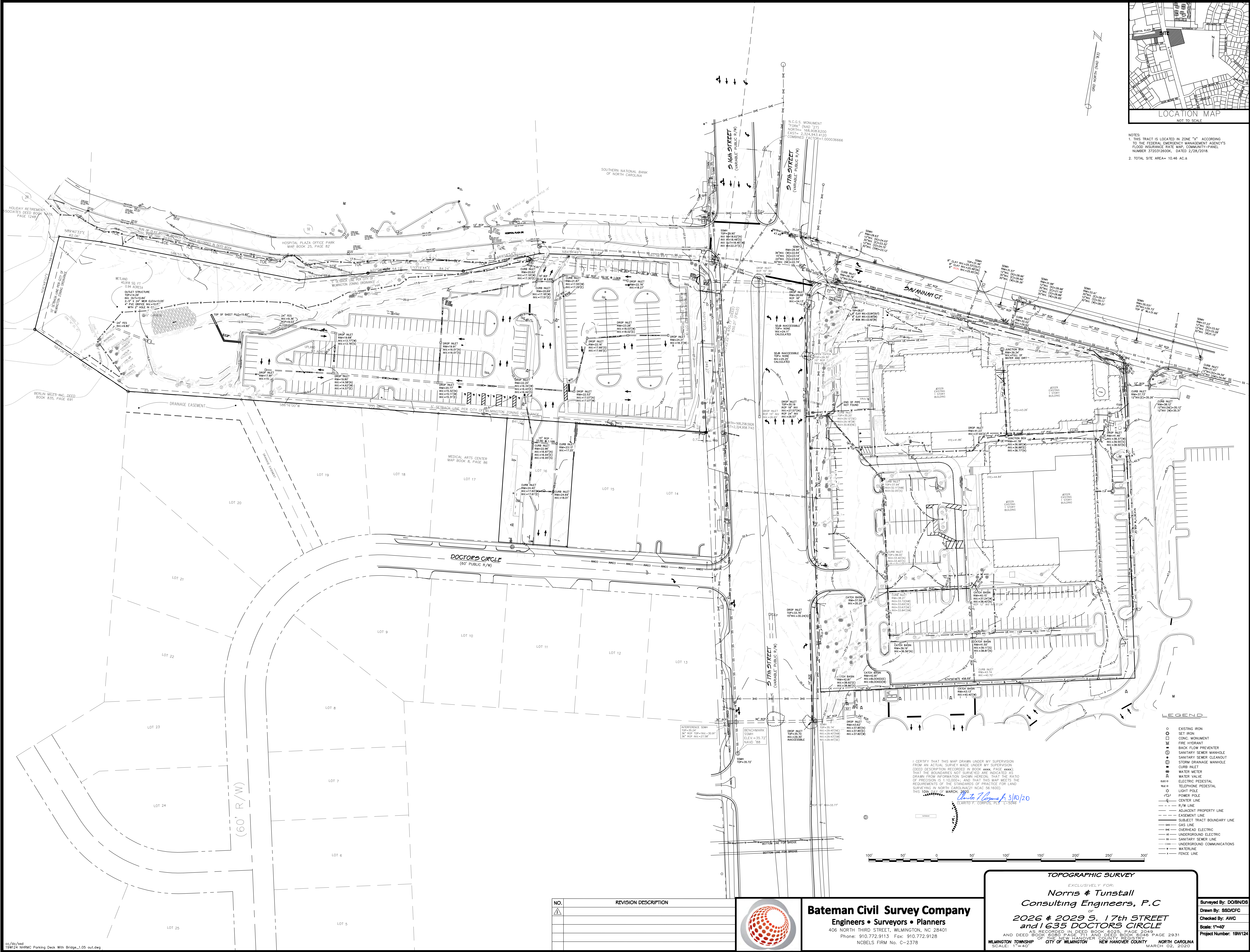
1 Longitudinal Building Section
 A-300 scale: 1/8" = 1'-0"

BUILDING SECTIONS

JOB NUMBER	
DRAWN BY	DP
CHECKED BY	BOWMAN
DATE	
REVISIONS	
SHEET NUMBER	

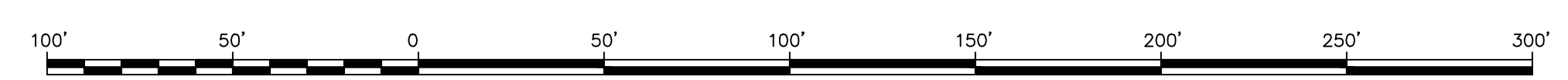


NOTES:
 1. THIS TRACT IS LOCATED IN ZONE "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 370302600K, DATED 2/28/2018.
 2. TOTAL SITE AREA= 10.46 AC±.



- LEGEND**
- EXISTING IRON SET IRON
 - CONC. MONUMENT
 - ⊕ FIRE HYDRANT
 - ⊖ BACK FLOW PREVENTER
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ SANITARY SEWER CLEANOUT
 - ⊙ STORM DRAINAGE MANHOLE
 - ⊙ CURB INLET
 - ⊙ WATER METER
 - ⊙ WATER VALVE
 - ⊙ ELECTRIC PEDESTAL
 - ⊙ TELEPHONE PEDESTAL
 - ⊙ LIGHT POLE
 - ⊙ POWER POLE
 - ⊙ CENTER LINE
 - ⊙ R/W LINE
 - ⊙ ADJACENT PROPERTY LINE
 - ⊙ EASEMENT LINE
 - ⊙ SUBJECT TRACT BOUNDARY LINE
 - ⊙ GAS LINE
 - ⊙ OVERHEAD ELECTRIC
 - ⊙ UNDERGROUND ELECTRIC
 - ⊙ SANITARY SEWER LINE
 - ⊙ UNDERGROUND COMMUNICATIONS
 - ⊙ WATERLINE
 - ⊙ FENCE LINE

I CERTIFY THAT THIS MAP DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK XXXX, PAGE XXXX) THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION SHOWN HEREON. THAT THE RATIO OF PRECISION IS 1:10,000 AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (NCEA 56-1600).
 THIS 10th DAY OF MARCH, 2020
Carlo Pappas 3/10/20
 SURVEYOR



NO.	REVISION DESCRIPTION



Bateman Civil Survey Company
 Engineers • Surveyors • Planners
 406 NORTH THIRD STREET, WILMINGTON, NC 28401
 Phone: 910.772.9113 Fax: 910.772.9128
 NCBELS FIRM No. C-2378

TOPOGRAPHIC SURVEY
 EXCLUSIVELY FOR:
Norris & Tunstall
 Consulting Engineers, P.C.
 of
2026 & 2029 S. 17th STREET
and 1635 DOCTORS CIRCLE
 AS RECORDED IN DEED BOOK 6025, PAGE 2049
 AND DEED BOOK 6030, PAGE 711 AND DEED BOOK 6030, PAGE 2931
 OF THE NEW HANOVER COUNTY REGISTRY
 WILMINGTON TOWNSHIP CITY OF WILMINGTON NEW HANOVER COUNTY NORTH CAROLINA
 SCALE: 1"=40'
 MARCH 02, 2020

Surveyed By: DOB/ND/S
 Drawn By: SSD/CFC
 Checked By: AWC
 Scale: 1"=40'
 Project Number: 19W124